

**CITY OF NEWPORT BEACH
PLANNING COMMISSION STAFF REPORT**

February 7, 2013

Agenda Item 2

SUBJECT: Mariner's Pointe - (PA2010-114)
100 – 300 West Coast Highway
▪ Substantial Conformance Review

APPLICANT: VBAS Corporation

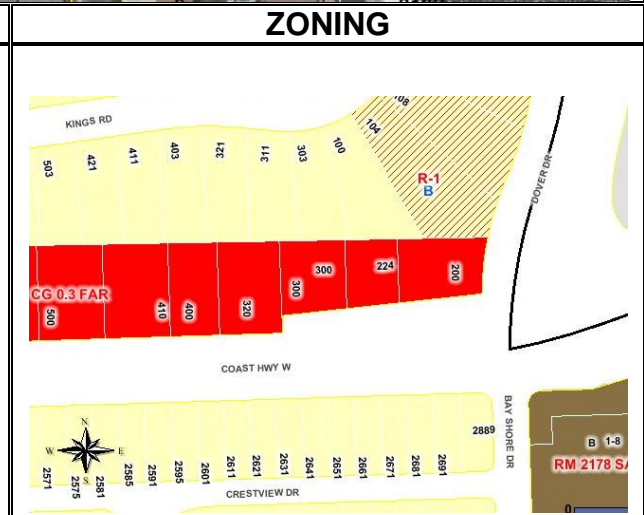
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PROJECT SUMMARY

On August 9, 2011, the City Council approved the Mariner's Pointe project, a 19,905-square-foot commercial building and a three-level parking structure. On June 7, 2012, the Planning Commission approved the final architectural and landscaping plans for the project. The project is under construction; however, the applicant proposes revisions to the approved building design. The revisions include: 1) changing the stone veneer exterior of a wall with awnings and commercial display boxes; 2) reducing the height of a stair/elevator tower; and 3) landscaping between the building and West Coast Highway.

RECOMMENDATION

- 1) Conduct a public meeting; and
- 2) Adopt Resolution No. ____ (Attachment No. PC1) finding the changes in the design to be in substantial conformance with the project design approved by Site Development Review No. SR2010-001 and Conditional Use Permit No. UP2010-024.



LOCATION	GENERAL PLAN	ZONING	CURRENT USE
ON-SITE	General Commercial (CG)	Commercial General (CG)	Commercial building (under construction)
NORTH	Single Unit Residential Detached (RS-D)	Single Unit Residential (R1)	Single-unit residential dwellings
SOUTH	RS-D	R1	Single-unit residential dwellings
EAST	Recreational and Marine Commercial (CM)	Castaways Marina Planned Community (PC-37)	Construction staging
WEST	CG	CG	Commercial retail buildings

INTRODUCTION

Background

On August 9, 2011, the City Council approved the Mariner's Pointe project, a 19,905-square-foot commercial building and a three-level parking structure on a 0.76-acre site located at the northwest corner of the intersection of West Coast Highway and Dover Drive. The exact tenant mix was unknown at the time of approval; however, it was anticipated two large restaurants (9,557 square feet) would serve as anchor tenants, with the remaining square footage to be used for retail (8,651 square feet) and medical office uses (1,697 square feet). The project included the approval of the following applications: a General Plan amendment; Zoning Code amendment; site development review; conditional use permit; variance; parcel map; and traffic study. City Council Resolution No. 2011-86, including conditions of approval, is included as Attachment PC2.

Pursuant to Condition Nos. 4 and 20, the applicant was required to submit final architectural and landscaping plans for review and approval by the Planning Commission to ensure the high level of architectural detail and landscape improvements are incorporated into the final construction drawings. The Planning Commission reviewed and approved the final architectural and landscaping plans on June 7, 2012. Planning Commission Resolution No. 2012-1878, is included as Attachment PC3 and the hearing minutes are included as Attachment PC4. Colored renderings of the final approved elevations are included as Attachment No. PC5.

Shoring wall permits were issued for the project on June 6, 2012, and building permits were issued for the construction of the parking structure and commercial building on October 19, 2012.

DISCUSSION

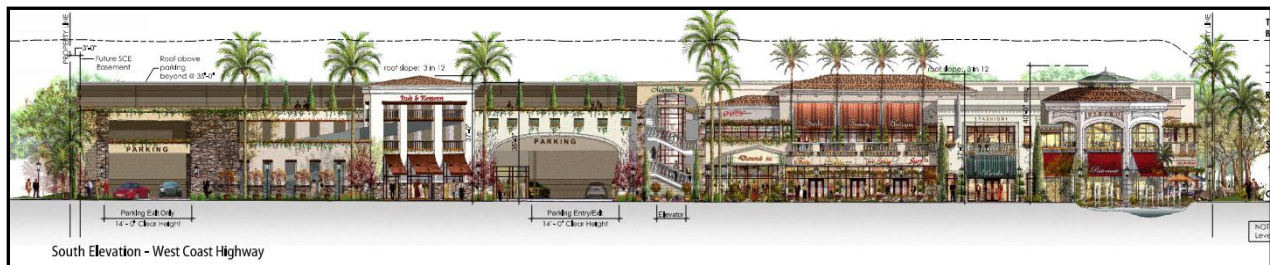
Pursuant to Condition of Approval No. 1 of City Council Resolution No. 2011-86, project design changes shall be in substantial conformance with the approved plans. In addition, pursuant to Condition of Approval Nos. 4 and 20, any substantial changes to the approved final architectural and landscaping plans shall require approval by the Planning Commission. The applicant has proposed a number of revisions to the approved architectural and landscape plans, some of which staff believes to be significant changes warranting further review by the Planning Commission.

Affected sheets from the approved final architectural plans are included as Attachment No. PC6 for reference and the proposed architectural revisions are included as Attachment No. PC7. Colored renderings of the proposed revisions are included as Attachment No. PC8. The following discussion summarizes each of these changes in more detail.

Parking Structure Façade

The applicant proposes to modify the architectural treatment of a screen wall located in front of the parking structure ramps on the South Elevation of the project to provide an expanded storefront and retail presence. As approved, the screen wall was to be clad with a stone veneer and series of openings with decorative metal inserts. The stoner veneer is now proposed to be replaced with a smooth-coat plaster finish. A series of openings with decorative metal inserts would be retained along the top of the screen wall; however, the bottom of the screen wall would be improved with four display cases and four awnings to provide the appearance of a retail storefront. These four display cases would be finished in black tile background and enclosed in glass. Initially, the display cases are proposed to be used for flower display by a florist tenant to be located within Suite R-105. However, in the future, this display area could also be used for merchandise display and/or advertising space for other on-site uses.

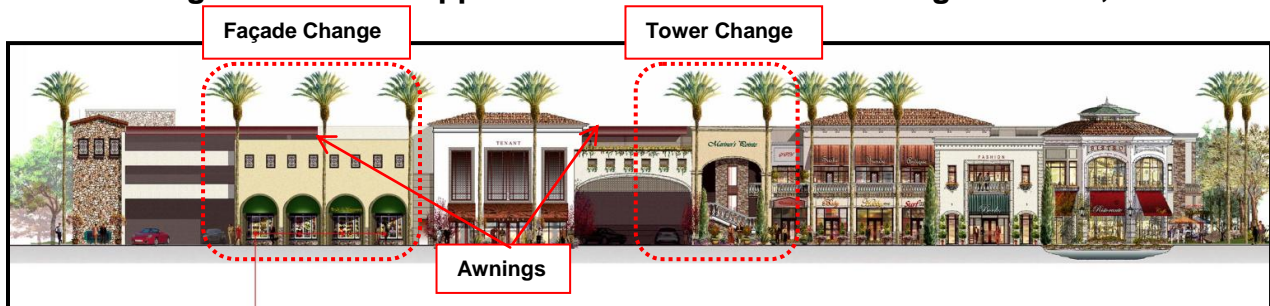
South Elevation Comparisons



City Council Approved Conceptual Architectural Design – August 9, 2011



Planning Commission Approved Final Architectural Design - June 7, 2012



Proposed Revisions to Architectural Design



Façade Change: Enlarged View

Primary Elevator/Stairwell Tower

An additional change to the South Elevation involves lowering the height of the primary elevator and stairwell tower from 39 feet 4 inches to 35 feet, consistent with the originally approved City Council conceptual plan. The reduction in height was made possible by eliminating elevator and stairwell access within this tower to the third level of the parking structure. The third level of the parking structure is reserved for employee and valet parking of vehicles only. Two additional stairwells would continue to provide access from the third level of the structure to the first and second levels of the commercial building. Disabled parking for employees would continue to be provided on the first and second levels of the parking structure. Staff has no concerns with this change.

Parking Structure Awnings

Along the front edge of the parking structure roof, the applicant is proposing canvas awnings to provide enhanced architectural interest and to complement the other awnings on the building. Staff has no concerns with this change.

Landscaping

The approved landscape plan (Attachment No. PC9) included extensive decorative paving, a 598 square-foot water feature, and approximately 2,460 square feet of planter area that included a variety of plant materials. The plan implements the landscape requirements of the Mariner's Mile Strategic Vision and Design Framework by providing the minimum four-foot-wide planter area with continuous hedge and palm trees.

The applicant is proposing revisions (Attachment No. PC10) to the landscape plan primarily to accommodate access to the proposed display cases and to address Caltrans concerns. Caltrans maintains jurisdiction of the right-of-way along the West Coast Highway frontage and requires the curb and sidewalk be realigned to eliminate

the lane drop at the westerly end of the project frontage. As a result, the new curb alignment now accommodates a dedicated bus turn-out pad, and expanded decorative paving and landscaping in front of the proposed display area and parking structure.

Caltrans has also recently indicated that they would not allow the proposed palms and water feature to be located within their right-of-way along Coast Highway; however, Caltrans has initiated discussions regarding entering into a maintenance agreement with the City and applicant to permit the improvements. Alternatively, the City can accept a partial relinquishment of the right-of-way from Caltrans in order to accommodate the palms and water feature. As a result of these discussions with Caltrans, the total number of palms trees has been reduced from 17 to 15 trees. Thirteen of the palms will remain on the West Coast Highway frontage.

Overall, the revision results in a total of 3,035 square feet of total planter area, which is an addition of approximately 575 square feet. However, it should be noted that 1,312 square feet of the total planter area is located within the West Coast Highway right-of-way. The City's Master Plan of Streets and Highways envisions the widening of West Coast Highway in Mariner's Mile to accommodate six lanes. The possibility of widening the highway in the future could result in the elimination of significant portions of the proposed hardscaping and landscaping improvements located within the right-of-way.

Staff believes the changes would continue to result in a project that is consistent with the intent of the Mariner's Mile Strategic Vision and Design Framework by providing a continuous hedge row and palm tree feature that serves as a unifying design feature that ties the Mariner's Mile corridor together.

Environmental Review

The environmental impacts of the project as a whole were analyzed under the Mitigated Negative Declaration (MND) that was adopted for the project by the City Council on August 9, 2011. The MND was prepared in accordance with the implementing guidelines of the California Environmental Quality Act (CEQA), the State CEQA Guidelines, and City Council Policy K-3. With mitigation measures and standard conditions of approval indicated in the Initial Study and set forth in the Mitigation Monitoring and Reporting Program included with the MND, all potential impacts would be mitigated to a less than significant level. The changes to the project are minor in nature and do not constitute substantial changes to the project that would involve new significant environmental effects or result in additional mitigation measures.

Summary

Staff believes that the proposed revisions in building design are consistent with the approval of Site Development Review No. SR2010-004 and Use Permit No. UP2010-024, and can be found in substantial conformance with the approved plans. Furthermore, staff believes that the proposed changes continue to implement the high

level of architectural detail and landscape improvements illustrated in the approved building plans. The reduction in the tower is consistent with originally approved conceptual design by the City Council and will continue to meet all required Building Codes for accessibility and fire protection. The change in architectural treatment and addition of display cases helps to mask the bulk of the parking structure and provide a continued commercial storefront appearance. It should be noted that once the display cases are approved, the City would maintain limited authority to regulate the content of the merchandise or advertising materials; however, size and area of signage would be regulated through a future comprehensive sign program and off-site advertising would be prohibited.

The changes in landscaping would continue to result in a project that is consistent with the intent of the Mariner's Mile Strategic Vision and Design Framework through the maintenance of the minimum number of required palm trees and continuous hedge row. Staff's only reservation is that should West Coast Highway be widened in the future, portions of the proposed improvements located in the right-of-way may be lost.

Alternatives

1. Should the Planning Commission be concerned with the significant loss of landscaping should the highway be widened in the future, the Planning Commission may approve the requested changes with the exception of the proposed change to the parking structure façade. By maintaining the stone veneer and eliminating the display cases, landscaping may be preserved on-site in front of the parking structure and would be unaffected by any future highway widening.
2. Should the Planning Commission conclude that the final design does not exhibit the high level of architectural detail and landscape improvements illustrated in the approved building design, or conclude that the design changes are not in substantial conformance, the Commission should direct the applicant to make specific revisions needed to comply.

PUBLIC NOTICE

Although this agenda item does not require a public hearing, notice was published in the Daily Pilot, mailed to property owners within 300 feet of the property (excluding roads and waterways) and posted at the site a minimum of 10 days in advance of this meeting consistent with the Municipal Code requirements for public hearings. The item also appeared upon the agenda for this meeting, which was posted at City Hall and on the City website.

Prepared by:



Jaime Murillo
Associate Planner

Submitted by:



Brenda Wisneski, AICP, Deputy Director

ATTACHMENTS

- PC 1 Draft Resolution of Approval
- PC 2 City Council Resolution No. 2011-86
- PC 3 Planning Commission Resolution No. 2012-1878
- PC 4 June 7, 2012, Planning Commission Minutes
- PC 5 June 7, 2012, Colored Renderings of Approved Architectural Plans
- PC 6 June 7, 2012, Final Approved Architectural Plans (Affected Sheets)
- PC 7 Proposed Revisions to Architectural Plan
- PC 8 Colored Renderings of Proposed Revisions
- PC 9 June 7, 2012, Final Approved Landscaping Plan
- PC 10 Proposed Revisions to Landscape Plan

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Attachment No. PC 1

Draft Resolution of Approval

RESOLUTION NO. ____

**A RESOLUTION OF THE PLANNING COMMISSION OF THE
CITY OF NEWPORT BEACH FINDING CHANGES IN DESIGN TO
BE IN SUBSTANTIAL CONFORMANCE WITH THE DESIGN
APPROVED BY SITE DEVELOPMENT REVIEW SR2010-001
AND USE PERMIT NO. UP2010-024 FOR THE MARINER'S
POINTE PROJECT LOCATED AT 100-300 WEST COAST
HIGHWAY (PA2010-114)**

THE PLANNING COMMISSION OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS
FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. On August 9, 2011, the City Council adopted Resolution No. 2011-86 approving the Mariner's Pointe project, a 19,905-square-foot commercial building and a three-level parking structure on a 0.76-acre site located 100-300 West Coast Highway, and legally described as Lots 1, 2, 3, 4, 5, and 6 of Tract No. 1210; and
2. In compliance with Condition Nos. 4 and 20 of City Council Resolution No. 2011-86, the applicant was required to submit final architectural and landscaping plans for review and approval by the Planning Commission to ensure the high level of architectural detail and landscape improvements are incorporated into the final construction drawings. The Planning Commission reviewed and approved the final architectural and landscaping plans on June 7, 2012.
3. On June 7, 2012, the Planning Commission adopted Resolution No. 2012-1878 approving the final architectural and landscaping plans for the project.
4. The applicant is requesting review of proposed revisions to the approved building design. The revisions include: 1) changing the stone veneer exterior of a wall with awnings and commercial display boxes; 2) reducing the height of a stair/elevator tower; and 3) landscaping between the building and West Coast Highway; and
5. A public meeting was held by the Planning Commission on February 7, 2013, in the City Hall Council Chambers, 3300 Newport Boulevard, Newport Beach, California. A notice of time, place and purpose of the meeting was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Planning Commission at this meeting; and

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. A Mitigated Negative Declaration (SCH No. No. 2011041038) was prepared for the project in accordance with the implementing guidelines of the California Environmental Quality Act (CEQA). The document was made available for public review and comment during a 30-day review period beginning on April 11, 2011, and ending on May 11, 2011, and subsequently approved by the City Council on August 9, 2011. A

subsequent mitigated negative declaration for the project is not required to be prepared pursuant to CEQA Guidelines Section 15162 because the proposed revisions to project design are minor and do not constitute “substantial changes” to the project that would involve new significant environmental effects or result in additional mitigation measures.

SECTION 3. REQUIRED FINDINGS.

1. The applicant has proposed a number of revisions to the final approved architectural and landscape plans for the project. Pursuant to Condition of Approval No. 1, the project design changes shall be in substantial conformance with the approved plans and pursuant to Condition of Approval Nos. 4 and 20, the Planning Commission may approve changes. The following facts in support of such finding are set forth:

Facts in Support of Finding:

- A. The replacement of the stone veneer on the screen wall located in front of the parking structure ramps on the South Elevation of the project will provide an expanded storefront and stronger retail presence. A series of openings with decorative metal inserts would be retained along the top of the screen wall and four display cases and four awnings to provide the appearance of a retail storefront. These four display cases would be finished in black tile background and enclosed in glass. Initially, the display cases are proposed to be used for flower display by a florist tenant to be located within Suite R-105. However, in the future, this display area could also be used for merchandise display and/or advertising space for other on-site uses.
- B. The reduction in height of the primary elevator and stairwell tower on the south elevation from 39 feet 4 inches to 35 feet is consistent with the originally approved City Council conceptual plan.
- C. The installation of awnings along the front edge of the parking structure roof will provide enhanced architectural interest and complement the other awnings on the building.
- D. The proposed revisions to the landscape plan are necessary to accommodate access to the proposed display cases and to address Caltrans concerns with the curb alignment. Caltrans maintains jurisdiction of the right-of-way along the West Coast Highway frontage and required that the curb and sidewalk be pulled out to eliminate the lane drop at the westerly end of the project frontage. As a result, the new curb alignment now accommodates a dedicated bus turn-out pad, and expanded decorative paving and landscaping in front of the proposed display area and parking structure.
- E. Caltrans has recently indicated that they would not allow the proposed palms and water feature to be located within their right-of-way along Coast Highway; however, Caltrans has initiated discussions regarding entering into a maintenance

agreement with the City and applicant to permit the improvements. Alternatively, the City can accept a partial relinquishment of the right-of-way from Caltrans in order to accommodate the palms and water feature. As a result of these discussions with Caltrans, the total number of palms trees has been reduced from 17 to 13 trees. Eleven of the palms will remain on the West Coast Highway frontage.

- F. The landscaping revisions would continue to result in a project that is consistent with the intent of the Mariner's Mile Strategic Vision and Design Framework by providing a hedge and palm tree feature that serves as a unifying design feature that ties the Mariner's Mile corridor together.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. Consistent with Condition Nos. 4 and 20 of City Council Resolution No. 2011-86, the Planning Commission of the City of Newport Beach hereby approves the revisions to the final architectural and landscaping plans for the Mariner's Pointe project and finds said revisions to be in substantial conformance with the project approved by Site Development Review No. SR2010-001 and Use Permit No. UP2010-024.
2. This action shall become final and effective fourteen days after the adoption of this Resolution unless within such time an appeal is filed with the City Clerk in accordance with the provisions of Title 20 Planning and Zoning, of the Newport Beach Municipal Code.

PASSED, APPROVED AND ADOPTED THIS 7TH DAY OF FEBRUARY, 2013.

AYES:

NOES:

BY: _____
Michael Toerge, Chairman

BY: _____
Fred Ameri, Secretary

Attachment No. PC 2

Council Resolution No. 2011-86

RESOLUTION NO. 2011-86

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF NEWPORT BEACH ADOPTING A MITIGATED NEGATIVE DECLARATION, FINDING TRAFFIC STUDY NO. TS2011-001 IN COMPLIANCE WITH THE TRAFFIC PHASING ORDINANCE, APPROVING GENERAL PLAN AMENDMENT NO. GP2010-009, SITE DEVELOPMENT REVIEW NO. SR2010-001, CONDITIONAL USE PERMIT NO. 2010-024, VARIANCE NO. 2010-004, AND PARCEL MAP NO. 2010-008, FOR A COMMERCIAL DEVELOPMENT PROJECT LOCATED AT 100-300 WEST COAST HIGHWAY (PA2010-114)

THE CITY COUNCIL OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. An application was filed by VBAS Corporation, with respect to properties located at 100-300 West Coast Highway, and legally described as Lots 1, 2, 3, 4, 5, and 6 of Tract No. 1210 requesting approval of a General Plan Amendment (GPA) to accommodate the development of a 23,015-square-foot, two-story commercial building and a three-story parking structure. The following applications were requested or required in order to implement the project as proposed:
 - a. An amendment to the Land Use Element of the General Plan to increase the allowable floor area for the project site from 16,518 square feet (0.5 FAR) to a maximum development limit of 23,015 square feet (approx. 0.7 FAR);
 - b. An amendment to the Zoning Map of the Zoning Code to increase the allowable floor area limitation for the project site from 0.3/0.5 FAR to a maximum development limit of 23,015 square feet (approx. 0.7 FAR);
 - c. A site development review to allow the construction of a 23,015-square-foot, two-story building and a three-story parking structure that will exceed the 31-foot base height limit with a maximum height of 40 feet;
 - d. A conditional use permit to allow for the construction of a parking structure adjacent to a residential zoning district, to modify the off-street parking requirements, allow for the use of off-site parking, and to establish a parking management plan for the site;
 - e. A variance to allow the commercial building and parking structure to encroach five feet into the five-foot rear yard setback;
 - f. A parcel map to consolidate six lots into one parcel; and
 - g. A traffic study pursuant to the City's Traffic Phasing Ordinance.

2. The subject property is located within the Commercial General (CG) Zoning District and the General Plan Land Use Element category is Commercial General (CG).
3. The subject property is not located within the coastal zone.
4. A public hearing was held by the Planning Commission on June 23, 2011, in the City Hall Council Chambers, 3300 Newport Boulevard, Newport Beach, California. A notice of time, place and purpose of the meeting was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Planning Commission at this meeting.
5. At the June 23, 2011, Planning Commission hearing, the Planning Commission voted unanimously to deny the project without prejudice.
6. On July 1, 2011, the Planning Commission's decision to deny the applicant's request was appealed by City Councilmember Edward Selich. The appeal was filed to allow the City Council an opportunity to review the project since the project sits at the western entry into the Mariner's Mile corridor, which is an area the City is trying to revitalize given the poor condition of the properties.
7. Due to the concerns expressed by the community and the Planning Commission at the June 23, 2011, Planning Commission hearing, the applicant modified the application request by reducing the project gross floor area from 23,015 square feet (approx 0.7 FAR) to 19,905 square feet (approx. 0.6 FAR), increased on-site parking supplies, and eliminating the need for off-site parking.
8. A public hearing was held by the City Council on August 9, 2011, in the City Hall Council Chambers, 3300 Newport Boulevard, Newport Beach, California. A notice of time, place and purpose of the meeting was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the City Council at this meeting.
9. Pursuant to Section 20.64.030.C, the public hearing was conducted "de novo," meaning that it was a new hearing and the decision being appealed has no force or effect as of the date the call for review was filed.

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. An Initial Study and Mitigated Negative Declaration have been prepared in compliance with the California Environmental Quality Act (CEQA), the State CEQA Guidelines, and City Council Policy K-3.
2. The draft Mitigated Negative Declaration was circulated for a 30-day comment period beginning on April 11, 2011 and ending on May 11, 2011. The contents of the environmental document and comments on the document were considered by the City Council in its review of the proposed project.

3. On the basis of the entire environmental review record, the proposed project, with mitigation measures, will have a less than significant impact upon the environment and there are no known substantial adverse affects on human beings that would be caused. Additionally, there are no long-term environmental goals that would be compromised by the project, nor cumulative impacts anticipated in connection with the project. The mitigation measures identified and incorporated in the Mitigation Monitoring and Reporting Program are feasible and will reduce the potential environmental impacts to a less than significant level.
4. The modifications proposed by the applicant do not constitute "substantial revisions" that would warrant recirculation of the MND pursuant to CEQA Guidelines Section 15073.5.
5. The Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program attached as Exhibit A is hereby adopted. The document and all material, which constitute the record upon which this decision was based, are on file with the Planning Department, City Hall, 3300 Newport Boulevard, Newport Beach, California.
6. The City Council finds that judicial challenges to the City's CEQA determinations and approvals of land use projects are costly and time consuming. In addition, project opponents often seek an award of attorneys' fees in such challenges. As project applicants are the primary beneficiaries of such approvals, it is appropriate that such applicants should bear the expense of defending against any such judicial challenge, and bear the responsibility for any costs, attorneys' fees, and damages which may be awarded to a successful challenger.

SECTION 3. REQUIRED FINDINGS.

1. The project site is located within the Mariner's Mile commercial corridor. The Land Use Element of the General Plan designates the site General Commercial (CG), which is intended to provide for a wide variety of commercial activities primarily oriented to serve citywide or regional needs. The proposed commercial building is consistent with this designation.
2. General Plan Policy LU 3.2 encourages the enhancement of existing neighborhoods, districts, and corridors, by allowing for re-use and infill with uses that are complementary in type, form, scale, and character. The policy states that changes in use and/or density/intensity should be considered only in those areas that are economically underperforming, are necessary to accommodate Newport Beach's share of projected regional population growth, improve the relationship and reduce commuting distance between home and jobs, or enhance the values that distinguish Newport Beach as a special place to live for its residents. The scale of growth and new development shall be coordinated with the provision of adequate infrastructure and public services, including standards for acceptable traffic level of service.

The proposed GPA and companion Code Amendment for increased intensity is consistent with General Plan Policy LU 3.2 as follows:

- a. The General Plan recognizes the Mariner's Mile corridor as a location that needs revitalization.
 - b. The increased intensity would provide an economic stimulus needed to accommodate the redevelopment of six lots into one commercial development.
 - c. As stated in the General Plan, Newport Beach residents desire high quality development and have identified the Mariner's Mile corridor is an area that needs revitalization.
 - d. Redevelopment of the subject property helps implement the goal of revitalizing the corridor and may encourage the redevelopment of other underperforming properties within the Mariner's Mile corridor. The project's high quality and distinctive architectural features, such as the corner tower element and cupola, will serve as a focal point and anchor into the entry into the Mariner's Mile corridor. In addition, the project's landscaping and water feature within the public right-of-way will significantly improve the streetscape in the corridor.
 - e. The traffic impact analysis that was prepared for the project found that the addition of project-related traffic would not have a significant impact at any of the study intersections.
 - f. The project site is served by existing infrastructure and public services. The proposed increase in intensity will not necessitate any expansion of existing infrastructure. The project will extend the transition area from three lanes to two lanes (lane drop extension) on West Coast Highway, which will improve safety of westbound traffic and improve access to the site. The removal of the three existing power poles and undergrounding of the power lines will provide a public benefit.
3. Charter Section 423 requires that all proposed General Plan Amendments be reviewed to determine if the square footage (for non-residential projects), peak hour vehicle trip, or dwelling units thresholds would be exceeded as the means to determine whether a vote by the electorate would be required to approve the General Plan Amendment. Pursuant to Council Policy A-18, voter approval is not required as the proposed General Plan Amendment represents a cumulative increase (including prior amendments) of 3,387 square feet and an increase of 10.16 a.m. and 13.55 p.m. peak hour trips. Therefore, the project and prior amendments do not cumulatively exceed Charter Section 423 thresholds as to require a vote of the electorate
4. Municipal Code Chapter 15.40 (Traffic Phasing Ordinance, or TPO) requires that a traffic study be prepared and findings be made before building permits may be approved if a proposed project will generate in excess of 300 average daily trips (ADT). For the purposes of preparing the traffic analysis for this project, the originally

proposed 23,015-square-foot commercial building was assumed to include 12,722 square feet of quality restaurant, 7,293 square feet of specialty retail, and 3,000 square feet of medical office. Combined, this land use mix is forecast to generate 1,292 additional trips per day, including 16 additional a.m. peak hour trips and 70 p.m. peak hour trips. This land use mix yields a higher project trip generation than the actual currently proposed land use mix of 9,557 square feet of restaurant, 8,651 square feet of retail, and 1,697 square feet of medical office and, therefore, the traffic analysis prepared for this project is considered to be a conservative as it over-estimates average daily trips. Pursuant to Section 15.04.030.A, the project shall not be approved unless certain findings can be made. The following findings and facts in support of such findings are set forth:

Finding:

- A. *That a traffic study for the project has been prepared in compliance with this chapter and Appendix A.*

Facts in Support of Finding:

- A-1. A traffic study, entitled "Mariner's Pointe Traffic Impact Analysis dated February 17, 2011" was prepared by RBF Consulting under the supervision of the City Traffic Engineer pursuant to the TPO and its implementing guidelines. A total of 12 primary intersections in the City were evaluated.

Finding:

- B. *That based on the eight of the evidence in the administrative record, including the traffic study, one of the findings for approval in subsection (B) can be made:*

15.40.030.B.1 Construction of the project will be completed within 60 months of project approval; and

15.40.030.B.1(a) The project will neither cause nor make an unsatisfactory level of traffic service at any impacted intersection.

Facts in Support of Finding:

- B-1. Construction of the project is anticipated to be completed in 2012. If the project is not completed within sixty (60) months of this approval, preparation of a new traffic study will be required.
- B-2. The traffic study indicates that the project will increase traffic on six of the 12 study intersections by one percent (1%) or more during peak hour periods one year after the completion of the project and, therefore, these six intersections require further Intersection Capacity Utilization (ICU) analysis.

- B-3. Utilizing the ICU analysis specified by the TPO, the traffic study determined that the six primary intersections identified will continue to operate at satisfactory levels of service as defined by the Traffic Phasing Ordinance, and no mitigation is required.
- B-4. Based on the weight of the evidence in the administrative record, including the traffic study, the implementation of the proposed project will neither cause nor make worse an unsatisfactory level of traffic service at any impacted primary intersection within the City of Newport Beach.

Finding:

- C. *That the project proponent has agreed to make or fund the improvements, or make the contributions, that are necessary to make the findings for approval and to comply with all conditions of approval.*

Facts in Support of Finding:

- C-1. Since implementation of the proposed project will neither cause nor make worse an unsatisfactory level of traffic service at any impacted primary intersection within the City of Newport Beach, no improvements or mitigation are necessary.

- 5. The project consists of 19,905 square feet of commercial floor area and requires Site Development Review, and in accordance with Section 20.52.080 of the Newport Beach Municipal Code, the following findings and facts in support of such findings are set forth:

Finding:

- A. *Allowed within the subject zoning district.*

Facts in Support of Finding:

- A-1. A commercial building with retail, office, and restaurant uses is a permitted use pursuant to Section 20.20.020 of the Zoning Code. The specific restaurants will be required to obtain separate minor or conditional use permits prior to occupying the building.

Finding:

- B. *Compliance with this Section [20.52.080], the General Plan, this Zoning Code, any applicable specific plan, and other applicable criteria and policies related to the use or structure.*

Facts in Support of Finding:

- B-1. The proposed commercial building is consistent with the CG General Plan land use designation and CG zoning district. A General Plan Amendment and Zoning Map Amendment are requested to allow the proposed increase in intensity.
- B-2. As required by the Zoning Code, a variance has been requested to allow for the encroachment into the rear setback.
- B-3. Land Use Element Policy LU 6.19.6 requires the implementation of landscape, signage, lighting, sidewalk, pedestrian crossing, and other amenities consistent with the Mariner's Mile Strategic Vision and Design Framework. Applicable to this project would be the landscape, lighting, and signage recommendations within the framework. Project signage has not yet been developed and will be submitted for a subsequent review. The project implements the landscaping requirements of the framework by providing the minimum four-foot-wide planter area with continuous hedge and palms plantings. With regard to lighting, the lighting has been designed to respect the views from above and to prevent any light spillage beyond the perimeter of the structure and to eliminate any sources of glare to the residents and motorists. The framework also includes architectural objectives that focus on responsible and sensitive design, with an emphasis on roofs and roof elements to respond to views from above. The proposed building has been designed with tiled tower elements and clean flat roofs with all mechanical equipment screened from view within an enclosure. The third level of the parking structure has been designed with a partial solid roof that screens the resident's view of vehicles and lighting.

Finding:

- C. *The efficient arrangement of structures on the site and the harmonious relationship of the structures to one another and to other adjacent developments; and whether the relationship is based on standards of good design.*

Facts in Support of Finding:

- C-1. The commercial building is configured in such way to resemble a village of two-story buildings, with various roof heights, connected to parking on each of the two levels.
- C-2. Although the project is requesting an increase in height, the building will not block or significantly obstruct any views of the bay or harbor from the residential homes located on the 40 to 50-foot high hillside above the project site. The residential neighbors will maintain their 180 degree private views, although the cupola feature may project slightly into the view plane toward the Bael Bay Bridge.

- C-3. The roof of the commercial building has been designed to respect the views of the residences above and consists of a combination of flat and sloped roof lines. Roof-top mechanical equipment would be fully enclosed within an equipment enclosure and would not be visible from the residences above. The enclosure will have louver vents directed away from the residential properties.
- C-4. The rear two-thirds of the parking structure would be enclosed and will screen the view of the parked vehicles and parking structure lighting from the residents located above the hillside. The parking structure roof will also provide an additional sound buffer to the residents above.
- C-5. The mechanical equipment enclosure has been located at the rear of the commercial building to minimize the bulk of the building as viewed from West Coast Highway.

Finding:

- D. *The compatibility in terms of bulk, scale, and aesthetic treatment of structures on the site and adjacent developments and public areas.*

Facts in Support of Finding:

- D-1. The building and parking structure includes modulated building masses and rooflines and a variation of building materials and colors that would provide visual relief.
- D-2. To break up the bulk and massing of the parking structure as viewed from West Coast Highway, a 1194-square-foot commercial space has been located on the 1st level of the structure, below the ramp, providing a storefront and retail presence in front the of the structure. A tower element will extend this storefront along the face of the structure.
- D-3. The inclusion of architectural elements such as balconies, tower features, awnings, trellises, ornamental windows and railings, and the variation in building elevations and protrusions would also enhance the visual quality of the buildings and street frontage.
- D-4. The project's architectural style, with the use of stone, tile and glass materials, blends in color and form with some development within Mariner's Mile, will provide a high standard of quality for future neighboring development, and complies with the Mariner's Mile Strategic Vision and Design Framework.
- D-5. The tower and cupola feature, the tallest portion of the building, is located at the southeasterly corner of the site, away from the nearest residential and commercial uses. To minimize the bulk of the parking structure as viewed from West Coast Highway, the parking structure roof has been setback 37 feet 5

inches from the front edge of the structure. A trellis runs along the front of the roof to provide increased screening of the parking structure deck as viewed from above and improving the aesthetics of the parking structure as viewed from West Coast Highway. The height of the parking structure along the front façade is 29 feet 4 inches providing a transition to the commercial properties to the west, with the exception of the two tower elements along the front of the parking structure which break up the massing of the parking structure and adds visual interest through a variation in roof heights.

- D-6. The west elevation of the building has been designed with no openings due to its proximity to the side property line and in anticipation that the commercial site to the west may be redeveloped in the future; however, until such time, the west elevation will be visible from motorist traveling south of West Coast Highway. To soften the appearance of this elevation and break up the mass of the parking structure, large green screens would be installed and separated by columns. Architectural detailing has also been added in the form of stoner veneer, columns and borders around the green screens.
- D-7. The rear elevation of the building and parking structure has also been designed as a flat wall with no openings due to its placement on the rear property line and will range in height from approximately 20 feet to 35 feet from existing grade. However, the homes located on the hillside above are located a minimum of 60 feet away and approximately 40-50 feet above the project's pad elevation with views oriented predominately over the project site towards the bay and harbor, and therefore, will not be significantly impacted by the height and bulk of the structures.

Finding:

- E. *The adequacy, efficiency, and safety of pedestrian and vehicular access, including drive aisles, driveways, and parking and loading spaces.*

Facts in Support of Finding:

- E-1. The project would eliminate one existing driveway access off Dover Drive and would consolidate four existing driveways along West Coast Highway into two driveways. Therefore, the project minimizes the number of driveways along West Cost Highway, thereby reducing potential conflicts and increasing vehicular safety. The lane drop extension of Coast Highway will also enhance the safety of the highway, while providing safe access from the site, as determined by the City Traffic Engineer.
- E-2. The project proves adequate sight distance at each driveway, as determined by the City Traffic.

- E-3. The proposed parking structure has been designed to accommodate and provide safe access for emergency, delivery, and refuse collections vehicles, as determined by the City Traffic.
 - E-4. The project would include enhanced pedestrian walkways that provide access between the various uses and areas within the project site and to the surrounding public sidewalks and uses.
 - E-5. The existing bus stop along the project frontage would be relocated and a new designated "Bus Only" area would be created between the two driveways.
 - E-6. The project results in a total peak parking demand of 149 spaces, which can be entirely provided on site within the 150-space parking structure without any adjustments in parking requirements. In addition, a shared parking analysis prepared from the project indicates that because of the different peak hours of operation of the assumed mix of tenants, not all of the uses within the project will require their full allotment of parking spaces at the same time. The analysis indicates that the total parking required has two separate peaks: 1) one peak during the early afternoon with a total demand for 122 parking spaces at 1:00 p.m.; and 2) a second peak in the early evening with a total demand of 141 parking spaces at 6:00 p.m. Therefore, the project provides a surplus of one parking space based on Code requirements and nine spaces based on the shared parking analysis.
- F. *The adequacy and efficiency of landscaping and open space areas and the use of water efficient plant and irrigation materials.*

Facts in Support of Finding:

- F-1. The project includes the enhanced use of landscaping, including a variation of ornamental groundcover, vines, shrubs, and trees, to help soften and buffer the massing of the parking structure and commercial building from the surrounding areas and roadways.
- F-2. A new water feature design would encompass the southeast corner of the project site.
- F-3. The landscape plan includes the requirements of the Mariner's Mile Strategic Vision and Design Framework, but also incorporates non-invasive and water conserving plant types.
- F-4. The project is subject to the City's Water Efficient Landscape Ordinance (Chapter 14.17 of NBMC).

Finding:

- G. *The protection of significant views from public right(s)-of-way and compliance with Section 20.30.100 (Public View Protection).*

Facts in Support of Finding:

- G-1. The portion of West Coast Highway, on which the project is located, is not a designated coastal view road and is not considered a public view corridor requiring public view protection.

Finding:

- H. *Not detrimental to the harmonious and orderly growth of the City, or endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, safety, or general welfare of persons residing or working in the neighborhood of the proposed development.*

Facts in Support of Finding:

- H-1. The project has been conditioned to ensure that potential conflicts with surrounding land uses are minimized to the extent possible to maintain a healthy environment for both businesses and residents.
- H-2. The project's refuse area is located within the first level of the parking garage and will not result in odor impacts to residents above or noise associated with refuse collection.
- H-3. To minimize or eliminate odors associated with the restaurant uses impacting the residents above the site, the project has been conditioned to require the installation of Pollution Control Units with odor eliminators that take the exhaust from the hoods in the kitchens and filter it for particulates and odor.
- H-4. Any illumination of the proposed tower and cupola feature has been conditioned to consist of soft accent lighting so as not to become a visual disturbance to the views of the adjacent residents.
- H-5. The project is subject to the City's Outdoor Lighting requirements contained with Section 20.30.070 of the Zoning Code.
- H-6. The proposed 750-square-foot outdoor dining area located within the public-right-of-away adjacent to Dover will be screened from view of the residents above the hillside and is not anticipated to result in a significant noise disturbance; however, until the specific operation of the restaurants are better known, the project has been conditioned prohibiting this outdoor patio and deferring review until the of the use permit applications for the future restaurant uses are submitted.

6. The project site is located in the Nonresidential, Shoreline Height Limit Area where the height of structures are limited to 26 feet for flat roofs/parapet walls and to 31 feet for sloped roofs with a minimum 3:12 pitch. The height of a structure can be increased up to a maximum of 35 feet for flat roofs/parapet walls and up to 40 feet for sloped roofs, subject to the approval of a Site Development Review. In accordance with Section 20.30.060.C.3 of the Newport Beach Municipal Code, the following findings and facts in support of such findings are set forth:

Finding:

- A. *The project applicant is providing additional project amenities beyond those that are otherwise required.*

Facts in Support of Finding:

- A-1. The most significant amenity the project provides is the long desired redevelopment of this highly visible property that serves as a gateway into the Mariner's Mile corridor. This property is constrained due to its shallow depths and as such has proven difficult to redevelop and as fallen into disrepair. The proposed building exhibits a high level of architectural detail and includes design features that enhance the aesthetics of the building and the area. The most prominent design feature of the building is the octagonal tower and cupola at the southeasterly corner of the site intended to serve as a landmark feature and an anchor into the Mariner's Mile corridor area of the City. The proposed parking structure has been designed to incorporate a variety of materials and features (i.e. stone treatment and hanging vines) and includes vertical recessed openings and a storefront with a vertical tower element to break up the massing and monotony commonly associated with parking structures.
- A-2. The project includes enhanced landscaping of the public right-of-way along the West Coast Highway and Dover Drive. In addition to the continuous hedge and palm trees requirement of the Mariner's Mile Strategic Vision and Design Framework, the landscaping plan incorporates additional ornamental groundcover, vines, shrubs, and trees, to help soften and buffer the massing of the parking structure and commercial building and enhance the streetscape of Mariner's Mile. To further improve the streetscape and improve the entrance into the corridor, the applicant is proposing the installation of 280-square-foot water feature that would encompass the southeast corner of the project site. Water effects are proposed to include a knife-edge water weir falling towards the street at the center, boarded by low walls at each end of the feature. The water feature will also include plant material and a combination of eroded, colored concrete and natural stone.
- A-3. The design and height of the building benefits the residential properties above and to the north by providing noise attenuation from the roadway noise generated from vehicles on West Coast Highway and Dover Drive. As

illustrated in Figure 14 of the MND, a net decrease in roadway noise of up to 9 dBA CNEL is expected as a result of the noise attenuation effect of the new structures.

- A-4. At minimum, City policy requires the applicant to underground their utilities from the nearest power pole, allowing the power poles to remain in place. In this case, the applicant is proposing to completely remove the power poles and underground the power lines around the eastern, southern, and western perimeter of the project site.
- A-5. Another amenity includes the elimination of the existing driveway access off Dover Drive and the consolidation of the existing four driveways along West Coast Highway into two main access driveways. Therefore, the project minimizes the number of driveways along West Coast Highway, ensuring that the desired traffic flow along this major road is maintained and ensuring that the continuity of the street-facing building elevations would not be interrupted. The extension of the lane drop on West Coast Highway also serves to enhance the safety of the highway by extending the length of the merge lane, which providing safe access from the site

Finding:

- B. *The architectural design of the project provides visual interest through the use of light and shadow, recessed planes, vertical elements, and varied roof planes.*

Facts in Support of Finding:

- B-1. The goal of the architectural design is to simulate the appearance of a small Mediterranean village of two-story commercial buildings, resulting in modulated building masses and rooflines. The project consists mainly of flat roofs with heights between 29 feet 4 inches and 32 feet 4 inches. Several vertical elements have been included in the design such as the tower features and elevator/stairwell enclosures which range in height from 35 feet to 40 feet. The main elevator and stairwell enclosure has been integrated into the building façade as a prominent architectural feature and creates a transition between the commercial and parking structure components of the project. To break up the bulk and massing of the parking structure as viewed from West Coast Highway, a 1194-square-foot commercial space has been located on the first level of the structure, below the ramp, providing a storefront and retail presence in front the of the structure. A tower element extends this storefront vertically along the face of the structure.
- B-2. The storefronts on both the upper and lower level will be setback from the edge of the balcony along the street elevation, creating light and shadow effects. Light and shadow will also be created through the extensive use of awnings and recessed openings. The massing of the parking structure is also minimized through the use of vertical opening openings along the street frontage.

Finding:

- C. *The increased height will not result in undesirable or abrupt scale changes or relationships being created between the proposed structure(s) and existing adjacent developments or public spaces. Where appropriate, the proposed structure(s) provide a gradual transition to taller or shorter structures on abutting properties.*

Facts in Support of Finding:

- C-1. The tower and cupola feature, the tallest portion of the building, is located at the southeasterly corner of the site, away from the nearest residential and commercial uses. The height of the project transitions in height from east to west, minimizing the change in scale to the adjacent commercial properties to the west. With the exception of the tower elements and mechanical equipment enclosure, the height of the commercial building is 32 feet 4 inches. To minimize the visual height and bulk of the parking structure as viewed in perspective from West Coast Highway, the partial parking structure roof cover has been setback 37 feet 5 inches from the front edge of the structure. With the exception of the two 37-foot-high tower features, the resulting height of the parking structure along the front façade is 29 feet, 4 inches providing a transition to the commercial properties to the west as viewed from the highway. Although the adjacent commercial property is currently with one-story commercial buildings, the site has the potential to be redeveloped at heights of 31 feet without discretionary approvals.
- C-2. The homes on the residential lots to the north are situated at the top of the hillside that ranges in height from 40-50 feet above the project's pad elevation. The homes are also located a minimum of 60 feet back from the rear property line. These vertical and horizontal separations between the proposed commercial building and the homes at the top of the slope minimize the impact of the proposed structure heights to the adjacent residences.

Finding:

- D. *The structure will have no more floor area than could have been achieved without the approval of the height increase.*

Facts in Support of Finding:

- D-1. The requested increase in floor area does not drive the need for the increased height. The need for the third level of the parking structure is primarily driven by the need to provide parking for the two restaurants that will serve of anchor tenants to the development.

D-2. Even if the project is designed with only the two restaurants at the currently permitted 0.5 FAR, the third level of parking would be needed to accommodate the 105 parking spaces parking anticipated for the restaurant uses. The height of the parking structure could be reduced from 35 feet to 29 feet 4 inches if the roof cover was removed; however, the roof cover provides a benefit to the residents located above the hillside as it shields parking structure lighting and glare, and buffers vehicle noise.

D-3. With regard to the height of the commercial building, the need for height is driven by the need to provide desirable 12-foot-high ceilings for the retail tenants ensuring that these commercial building will remain marketable to tenants. In order to provide 12-foot-high clear ceilings and accommodate space for mechanical systems and fire sprinklers, a total plate height between 14 feet 6 inches and 17 feet 6 inches is necessary. Plate heights within the project utilize a 14-foot-8-inch dimension. It's also important to note that a majority of the structure will maintain a maximum height of 29 feet 4 inches, with the exception for the tower elements, designed to enhance the architecture of the building, and elevator/stairwell enclosures and mechanical equipment enclosure.

7. Pursuant to Sections 20.40.070.B.3 and 20.40.110.B.2 of the Zoning Code, a conditional use permit is required to allow for the construction of a parking structure adjacent to a residential zoning district and to establish a parking management plan. In accordance with Section 20.52.020.F of the Newport Beach Municipal Code, the following findings and facts in support of such findings are set forth:

Finding:

A. *The use is consistent with the General Plan and any applicable specific plan.*

Facts in Support of Finding:

A-1. The commercial building and related uses are consistent with CG General Plan land use designation. The parking structure is considered an accessory use that supports of the commercial uses. Parking structures and the use of valet are commonly associated with restaurant development and compatible with the other commercial uses located in Mariner's Mile.

Finding:

B. *The use is allowed within the applicable zoning district and complies with all other applicable provisions of this Zoning Code and the Municipal Code.*

Facts in Support of Finding:

B-1. The commercial building and related uses are consistent with CG zoning district. The parking structure is considered an accessory use that supports of the commercial uses. Parking structures located adjacent to residential districts

requires review and approval of a conditional use permit to minimize impacts to the residential uses.

Finding:

- C. *The design, location, size, and operating characteristics of the use are compatible with the allowed uses in the vicinity.*

Facts in Support of Finding:

- C-1. The parking structure is proposed to be located at the base of the hillside adjacent to a residential district, where the neighboring residential properties are located along the top of the hillside approximately 40-50 feet above the project's pad elevation. The height of the covered portion of the parking structure is 35 feet at the rear of the property directly adjacent to the residential district. The residential dwellings will remain approximately 22 feet higher in elevation than the surface of the third level parking deck (25 feet, 10 inches) and 12 feet, 6 inches higher in elevation than the top of the parking structure roof. The closest residential dwelling is located approximately 60 feet from the rear property line. These vertical and horizontal separations between the proposed commercial building and the homes provide adequate distance so that the mass and bulk of the parking structure should not negatively impact residents. The rear two-thirds of the parking structure would be enclosed and will screen the view of the parked vehicles and parking structure lighting from the residents located above the hillside. The parking structure roof will also provide an additional sound buffer to the residents above

Finding:

- D. *The site is physically suitable in terms of design, location, shape, size, operating characteristics, and the provision of public and emergency vehicle (e.g., fire and medical) access and public services and utilities.*

Facts in Support of Finding:

- D-1. The project results in a total peak parking demand of 149 spaces, which can now be entirely provided on site within the 150-space parking structure without any adjustments in parking requirements. The applicant's Parking Operational Plan should ensure that employees and patrons are able to park on site.
- D-2. The Parking Operational Plan has been reviewed and approved by the City's Traffic Engineer. Also the Traffic Engineer and Fire Department have reviewed the parking lot design and have determined that the parking lot design will function safely and will not prevent emergency vehicle access to the establishment. Given the design constraints with providing parking in compliance with City standards on such a shallow lot, the proposed parking management plan is a reasonable solution.

Finding:

- E. *Operation of the use at the location proposed would not be detrimental to the harmonious and orderly growth of the City, or endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, safety, or general welfare of persons residing or working in the neighborhood of the proposed use.*

Facts in Support of Finding:

- E-1. Parking structures have the potential to generate noise, such as car-alarms, car horns, car audio systems, people talking, vehicle pass-bys, and engine idling, which have the potential to disturb the adjacent residences. These individual noise sources last for short durations and their occurrences are infrequent; however, they can annoy neighbors. A noise analysis was prepared by The Planning Center as part of the MND to analyze the potential noise impacts associated with the previously proposed uncovered parking structure to the adjacent residents using sound modeling. The analysis concludes that the noise generated from vehicles and service trucks within the first and second level of the structure will be attenuated given that those levels are enclosed. With regard the uncovered third level, the analysis indicates that during the daytime, traffic noise from West Coast Highway and Dover Drive would be audible over the noise generated from the third level. In the evening, noise generated from the third level would be less than the City's 45 dBL Leq exterior noise standard at the residences. In addition, the third level of the parking structure will be reserved for employee and valet parking only, avoiding potential noise disturbances that may be associated with patrons loitering in the parking area after hours. Although noise from the third level of the parking structure is not anticipated to violate the Community Noise Ordinance standards, the applicant has since proposed to partially enclose and cover the rear two-thirds of the parking structure. This roof will have the effect of further attenuating noise generated from vehicles on the third level of the parking structure.
- E-2. The rear two-thirds of the upper parking level will be covered and will shield illumination of the parking structure from view of the resident's above. To illuminate the uncovered portion of the parking structure, light fixtures would be recessed into the southerly and westerly walls with very low light output and shields to eliminate glare from views above. In addition, the project has been conditioned to require a nighttime light inspection to confirm there are no light and glare impacts.
- E-3. The project has been conditioned to require a nighttime light inspection to confirm there are no light and glare impacts.

8. The proposed project encroaches five feet into the rear five-foot-setback adjacent to the residential lots to the north. In accordance with Section 20.52.090 of the Newport Beach Municipal Code, the following findings and facts in support of such findings are set forth:

Finding:

- A. *There are special or unique circumstances or conditions applicable to the subject property (e.g., location, shape, size, surroundings, topography, or other physical features) that do not apply generally to other properties in the vicinity under an identical zoning classification.*

Facts in Support of Finding:

- A-1. The subject property is wide (approx. 340 feet) and shallow (approx. 90 feet avg.). Although many of the lots along the inland side of the Mariner's Mile corridor consist of shallow lots, this property in particular is especially shallow given the acquisition of the property frontage in 1979 to accommodate the Bay Bridge realignment project. The realignment reduced the property depth approximately 27 feet on the westerly end and 47 feet on the easterly end of the property.
- A-2. The subject property is approximately 25 feet shallower than the adjacent properties to the west. The 60 lots on the inland side of West Coast Highway and located between the intersection of Dover Drive and the westerly boundary the Balboa Bay Club are the shallowest commercial lots within Marine's Mile corridor area. Of these 60 lots, only four lots have lot depths less than 100 feet (96.47 at its shallowest end). Over half of these lots consist of lot depths greater than 140 feet. The average lot depth of these 60 lots is approx. 120 feet.

Finding:

- B. *Strict compliance with Zoning Code requirements would deprive the subject property of privileges enjoyed by other properties in the vicinity and under an identical zoning classification.*

Facts in Support of Finding:

- B-1. The reduced lot depths do not accommodate an optimal commercial center site configuration. To design an optimal commercial building, the commercial square footage has been consolidated on the eastern portion of the site as a two-level design in order to accommodate the required on-site parking on the western portion of the site where the lot depth is greater.
- B-2. Due to the shallow lot depths, strict compliance with the rear 5-foot setback would result in a parking structure design that would be substandard to the minimum parking aisle and parking stall requirements resulting in a potentially

hazardous and difficult to access parking structure. Alternatively, the elimination of 49 spaces would be required to accommodate a parking structure that conforms both to setbacks and parking standards, depriving the property owner of the privilege of constructing a parking structure that could be constructed on the other 54 neighboring lots that have deeper lot dimensions.

Finding:

- C. *Granting of the Variance is necessary for the preservation and enjoyment of substantial property rights of the applicant.*

Facts in Support of Finding:

- C-1. The reduced lot depths do not accommodate an optimal commercial center site configuration and in order to maintain a substantial property right of developing the site for commercial use, the elimination of the rear yard setback is required to allow for the development of a parking structure that complies with City standards for vehicular access and parking. The parking structure has been located on the western portion of the site where the lots depths are greater and the commercial building has been located on the eastern half of the site where is the lot depth is narrowest (approx. 85 feet). Without the granting of the variance, the development of a commercial retail building with adequate on-site parking would not be feasible on this wide and shallow site.

Finding:

- D. *Granting of the Variance will not constitute a grant of special privilege inconsistent with the limitations on other properties in the vicinity and in the same zoning district.*

Facts in Support of Finding:

- D-1. Granting of the variance would not constitute a special privilege inconsistent with the limitations upon other properties in the Mariner's Mile corridor as it allows the applicant the ability to develop an optimal commercial center with adequate parking on site as could be developed on adjacent lots with greater lots depths.

Finding:

- E. *Granting of the Variance will not be detrimental to the harmonious and orderly growth of the City, or endanger, jeopardize, or otherwise constitute a hazard to the public convenience, health, interest, safety, or general welfare of persons residing or working in the neighborhood.*

Facts in Support of Finding:

- E-1. Four residential lots abut the project's rear property line; however, these residential properties are located up the hillside approximately 40-50 feet above the project's pad elevation. In addition, the closest residential dwelling is located approximately 60 feet from the rear property line. These vertical and horizontal separations between the proposed commercial building and the homes provide adequate buffer equivalent to or superior to a five-foot rear setback.
- E-2. The five-foot encroachment will not result in a condition where the commercial development will endanger or create a hazard to those persons residing in the dwellings above. In addition, the hillside is heavily landscaped and the applicant has agreed to work with adjacent residential property owners to further landscape the slope to provide increased landscaped screening of the rear of the project.
- E-3. The development includes cutting into the toe of the slope; however, the preliminary geotechnical report indicates that the design and construction of the retaining wall is feasible, subject to the recommendations within the report and in compliance with Building and Grading Codes, and will not undermine the stability of the hillside.

Finding:

- F. *Granting of the Variance will not be in conflict with the intent and purpose of this Section, this Zoning Code, the General Plan, or any applicable specific plan).*

Facts in Support of Finding:

- F-1. Typically commercially zoned properties are not required to maintain rear setbacks, except when located adjacent to residentially zoned properties. The intent is to provide separation for light, air, and open space adjacent to these residential properties. In this case, four residential lots abut the project's rear property line; however, the houses are located on the hillside approximately 40-50 feet above the project's pad elevation. The closest residential dwelling is located approximately 60 feet from the rear property line. These vertical and horizontal separations between the proposed commercial building and the homes provide adequate buffer equivalent to or superior to a five-foot rear setback. Therefore, the five-foot encroachment will not deprive the adjacent residential properties from the adequate enjoyment of light, air, and open space.
9. The property consists of six legal lots, which the applicant is proposing to consolidate into one unified site. The merger of five or more lots requires the approval of a parcel map. In accordance with Section 19.12.060 of the Newport Beach Municipal Code, the following findings and facts in support of such findings are set forth:

Finding:

- A. *That the proposed map and the design or improvements of the subdivision are consistent with the General Plan and any applicable specific plan, and with applicable provisions of the Subdivision Map Act and this Subdivision Code.*

Facts in Support of Finding:

- A-1. The project is consistent with the CG General Plan designation of the site.
- A-2. The Public Works Department has reviewed the proposed tentative map and believes it is consistent with the Newport Beach Subdivision Code (Title 19) and applicable requirements of the Subdivision Map Act.
- A-3. The proposed project accommodates the potential future widening of Coast Highway and all utility lines will be undergrounded.
- A-4. Conditions of approval have been included to ensure compliance with Title 19.

Finding:

- B. *That the site is physically suitable for the type and density of development.*

Facts in Support of Finding:

- B-1. The existing site is entirely developed and does not support any environmental resources.
- B-2. Portions of the development require cuts into the slope on the northern portion of the site. The geologic investigation revealed that the portions of this slope which are not improved by the proposed development may be surficially unstable; however, mitigation measures have been incorporated, as recommended by the site-specific geotechnical investigation that will reduce impacts to a less than significant level.
- B-3. The subject site is located at the intersection of West Coast Highway and Dover Drive and serves as the gateway into the Mariner's Mile commercial corridor of the City. Given its location, this site is ideal for the development of a commercial building.
- B-4. The subject parcel map allows for the consolidation of six shallow lots into one unified site large enough to accommodate a viable commercial development.

Finding:

- C. *That the design of the subdivision or the proposed improvements will not cause substantial environmental damage nor substantially and avoidably injure fish or*

wildlife or their habitat. However, notwithstanding the foregoing, the decision-making body may nevertheless approve such a subdivision if an environmental impact report was prepared for the project and a finding was made pursuant to Section 21081 of the California Environmental Quality Act that specific economic, social, or other considerations make infeasible the mitigation measures or project alternatives identified in the environmental impact report.

Facts in Support of Finding:

- C-1. A Mitigated Negative Declaration has been prepared and concludes that no significant environmental impacts will result with proposed development of the site in accordance with the proposed subdivision map.

Finding:

- D. *That the design of the subdivision or the type of improvements is not likely to cause serious public health problems.*

Facts in Support of Finding:

- D-1. The proposed Parcel Map is for the consolidations of six existing commercial lot into one commercial development site. All construction for the project will comply with all Building, Public Works, and Fire Codes, which are in place to prevent serious public health problems. Public improvements will be required of the developer per Section 19.28.010 of the Municipal Code and Section 66411 of the Subdivision Map Act. All ordinances of the City and all Conditions of Approval will be complied with.
- D-2. All mitigation measures will be implemented as outlined in the Mitigated Negative Declaration to ensure the protection of the public health.
- D-3. No evidence is known to exist that would indicate that the planned subdivision pattern will generate any serious public health problems.

Finding:

- E. *That the design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of, property within the proposed subdivision. In this connection, the decision-making body may approve a map if it finds that alternate easements, for access or for use, will be provided and that these easements will be substantially equivalent to easements previously acquired by the public. This finding shall apply only to easements of record or to easements established by judgment of a court of competent jurisdiction and no authority is hereby granted to the City Council to determine that the public at large has acquired easements for access through or use of property within a subdivision.*

Facts in Support of Finding:

- E-1. The design of the development will not conflict with any easements acquired by the public at large for access through or use of property within the proposed development as there are no public easements that are located on the property.
- E-2. An easement through the site will be retained by the City to sewer and utilities purposes.
- E-3. No other public easements for access through or use of the property have been retained for use by the public at large.

Finding:

- F. *That, subject to the detailed provisions of Section 66474.4 of the Subdivision Map Act, if the land is subject to a contract entered into pursuant to the California Land Conservation Act of 1965 (Williamson Act), the resulting parcels following a subdivision of the land would not be too small to sustain their agricultural use or the subdivision will result in residential development incidental to the commercial agricultural use of the land.*

Facts in Support of Finding:

- F-1. The property is not subject to the Williamson Act since the subject property is not considered an agricultural preserve and is less than 100 acres.

Finding:

- G. *That, in the case of a "land project" as defined in Section 11000.5 of the California Business and Professions Code: (a) there is an adopted specific plan for the area to be included within the land project; and (b) the decision-making body finds that the proposed land project is consistent with the specific plan for the area.*

Facts in Support of Finding:

- G-1. The property is not a "land project" as defined in Section 11000.5 of the California Business and Professions Code.
- G-2. The project is not located within a specific plan area.

Finding:

- H. *That solar access and passive heating and cooling design requirements have been satisfied in accordance with Sections 66473.1 and 66475.3 of the Subdivision Map Act.*

Facts in Support of Finding:

- G-1. The proposed Parcel Map and improvements are subject to Title 24 of the California Building Code that requires new construction to meet minimum heating and cooling efficiency standards depending on location and climate. The Newport Beach Building Department enforces Title 24 compliance through the plan check and inspection process.

Finding:

- I. *That the subdivision is consistent with Section 66412.3 of the Subdivision Map Act and Section 65584 of the California Government Code regarding the City's share of the regional housing need and that it balances the housing needs of the region against the public service needs of the City's residents and available fiscal and environmental resources.*

Facts in Support of Finding:

- I-1. The proposed Parcel Map is consistent with Section 66412.3 of the Subdivision Map Act and Section 65584 of the California Government Code regarding the City's share of the regional housing need. The project does not involve the elimination of residential units and therefore will not affect the City's ability to meet its share of housing needs.
- I-2. Public services are available to serve the proposed development of the site and the Mitigated Negative Declaration prepared for the project indicates that the project's potential environmental impacts are expected to be less than significant.

Finding:

- J. *That the discharge of waste from the proposed subdivision into the existing sewer system will not result in a violation of existing requirements prescribed by the Regional Water Quality Control Board.*

Facts in Support of Finding:

- J-1. Waste discharge into the existing sewer system will be consistent with the existing commercial use of the property and does not violate Regional Water Quality Control Board (RWQCB) requirements.

- J-2. Sewer connections have been conditioned to be installed per City Standards, the applicable provisions of Chapter 14.24 (Sewer Connection, Permits), and the latest revision of the Uniform Plumbing Code.

Finding:

- K. *For subdivisions lying partly or wholly within the Coastal Zone, that the subdivision conforms with the certified Local Coastal Program and, where applicable, with public access and recreation policies of Chapter Three of the Coastal Act.*

Facts in Support of Finding:

- K-1. The subject property is not located in the Coastal Zone.
- K-2. The subject property does not have access to any beaches, shoreline, coastal waters, tidelands, coastal parks or trails.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. The City Council of the City of Newport Beach does hereby find, on the basis of the whole record, that there is no substantial evidence that the project will have a significant effect on the environment and that the Mitigated Negative Declaration reflects the City Council's independent judgment and analysis. The City Council adopts Mitigated Negative Declaration, including the Mitigation Monitoring and Reporting Program attached as Exhibit "A". The document and all material, which constitute the record upon which this decision was based, are on file with the Planning Department, City Hall, 3300 Newport Boulevard, Newport Beach, California.
2. The City Council of the City of Newport Beach does hereby approve General Plan Amendment No. GP2010-009. Table LU2 and Figure LU9 of the Land Use Element of the General Plan shall be amended as provided in Exhibit "B".
3. The City Council determines that the Project complies with the Traffic Phasing Ordinance, based on the weight of the evidence in the administrative record, including Traffic Study No. TS2011-001.
4. The City Council of the City of Newport Beach does hereby approve Site Development Review No. SR2010-001, Conditional Use Permit No. 2010-024, Variance No. 2010-004, and Parcel Map No. 2010-008, subject to the conditions set forth in Exhibit C.
5. This resolution shall take effect immediately upon adoption.

6. This approval was based on the particulars of the individual case and does not in and of itself or in combination with other approvals in the vicinity or Citywide constitute a precedent for future approvals or decisions.
7. This resolution was approved, passed and adopted at a regular meeting of the City Council of the City of Newport Beach, held on the 9th day of August, 2011.



MAYOR

ATTEST:



CITY CLERK



EXHIBIT "A"

**MARINER'S POINTE PROJECT
MITIGATION MONITORING PROGRAM (SCH# 2011041038)
CITY OF NEWPORT BEACH**

Mitigation Measure	Phase of Implementation	Responsible Monitoring Party	Completion Date/Initials
Biological Resources			
<p>1. The construction contractor shall comply with the Migratory Bird Treaty Act of 1918. The construction contractor shall do one of the following:</p> <ul style="list-style-type: none"> Avoid grading activities during the nesting season, February 14 to September 1; or If grading activities are to be undertaken during the nesting season, a site survey for nesting birds shall be conducted by a qualified biologist prior to no more than three days prior to commencement of grading activities. If nesting birds are found in trees to be removed, removal shall be postponed until the fledglings have vacated the nest or the biologist has determined that the nest has failed. Furthermore, the biologist shall establish an appropriate buffer zone where construction activity may not occur until the fledglings have vacated the nest or the biologist has determined that the nest has failed. If nesting birds are detected in trees being preserved, the biologist shall establish an appropriate buffer zone where construction activity may not occur until the fledglings have vacated the nest or the biologist has determined that the nest has failed. 	During construction	City of Newport Beach Community Development Department	
Cultural Resources			
<p>2. The project applicant shall have a qualified archaeologist conduct a Phase II archaeological investigation and a Phase III investigated if warranted by the Phase II study. The Phase II investigation, including trenching and analysis of any resources found, shall be completed before issuance of a grading permit by the City of Newport Beach. A Phase II archaeological testing program consists of a control subsurface investigation designed to extract a small sample of the subsurface deposits, but a sample large enough to draw a conclusion on the significance of the site (assuming the site is present). If intact features of an archaeological site, such as hearths, living surfaces, or middens, are discovered in the course of the Phase II investigation, then the project applicant shall have the archaeologist:</p> <ul style="list-style-type: none"> Conduct a feasibility investigation to preserve in place, any significant archaeological resource that is discovered. Feasibility can be based on but not limited to whether the significant archaeological 	Prior to issuance of grading permit	City of Newport Beach Community Development Department	

Mitigation Measure	Phase of Implementation	Responsible Monitoring Party	Completion Date/Initials
<p>resource is beneath open space that can incorporate preservation in place. If preservation in place is feasible, such preservation shall be documented with the City's Planning Division, and no further mitigation is necessary;</p> <ul style="list-style-type: none"> If preservation in place is not feasible, the applicant's archaeologist shall conduct a Phase III investigation prior to the issuance of a grading permit. A Phase III consists of extracting a larger sample of the site materials to document the function, age, and components of the site, allowing for interpretation and comparative analysis with respect to the larger area (e.g., occupation within the Newport Bay area). The City's Planning Division shall approve the report and related actions prior to grading permit issuance. 			
<p>3. The Project Applicant shall have a qualified professional archaeologist onsite to monitor for any potential impacts to archaeological or historic resources throughout the duration of any ground disturbing activities. The professional archaeologist shall have the authority to halt any activities adversely impacting potentially significant cultural resources until the resources can be formally evaluated. The archaeologist must have knowledge of both prehistoric and historical archaeology. Additionally, the archaeological monitoring program shall include the presence of a local Native American representative (Gabrielino and/or Juaneno). Resources must be recovered, analyzed in accordance with CEQA guidelines, and curated. Suspension of ground disturbance in the vicinity of the discoveries shall not be lifted until the archaeologist has evaluated discoveries to assess whether they are classified as historical resources or unique archaeological sites, pursuant to CEQA.</p>	During construction	City of Newport Beach Community Development Department	
<p>4. The Project Applicant shall retain a qualified professional paleontologist to monitor for any potential impacts to paleontological resources throughout the duration of ground disturbing activities. In the event paleontological resources are uncovered, the professional paleontologist shall have the authority to halt any activities adversely impacting potentially significant fossil resources until the resources can be formally evaluated. If potentially significant fossils are uncovered they must be recovered, analyzed in accordance with CEQA guidelines, and curated at facilities at the Natural History Museum of Los Angeles County, or other scientific institution accredited for curation and collection of fossil specimens. Suspension of ground disturbances in the vicinity of the discoveries</p>	During construction	City of Newport Beach Community Development Department	

Mitigation Measure	Phase of Implementation	Responsible Monitoring Party	Completion Date/Initials
shall not be lifted until the paleontologist has evaluated the significance of the resources pursuant to CEQA.			

Geology and Soils

5. Prior to issuance of grading permits, a detailed engineering-level geotechnical investigation report shall be prepared and submitted with engineered grading plans to further evaluate expansive soils, soil corrosivity, slope stability, landslide potential, settlement, foundations, grading constraints, and other soil engineering design conditions and to provide site-specific recommendations to address these conditions, if determined necessary. The engineering-level report shall include and address each of the recommendations included in the geotechnical reports prepared by MACTEC (2010a and 2010b) and included as Appendix E. The geotechnical reports shall be prepared and signed/stamped by a Registered Civil Engineer specializing in geotechnical engineering and a Certified Engineering Geologist. Geotechnical rough grading plan review reports shall be prepared in accordance with the City of Newport Beach Grading Ordinance.	Prior to issuance of grading permit	City of Newport Beach Community Development Department	
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Noise

6. The contractor shall properly maintain and tune all construction equipment in accordance with the manufacturer's recommendations to minimize noise emissions.	During construction	City of Newport Beach Community Development Department	
7. Prior to use of any construction equipment, the contractor shall ensure that all equipment is fitted with properly operating mufflers, air intake silencers, and engine shrouds no less effective than as originally equipped by the manufacturer.	During construction	City of Newport Beach Community Development Department	
8. The construction contractor shall locate stationary noise sources (e.g., generators, compressors, staging areas) and material delivery (loading/unloading) areas as far from residences as possible (e.g., eastern portion of the project site).	During construction	City of Newport Beach Community Development Department	
9. The construction contractor shall post a sign, clearly visible onsite, with a contact name and telephone number of construction contractor to respond in the event of a noise complaint.	During construction	City of Newport Beach Community Development Department	

Transportation and Traffic

10. Prior to issuance of a grading permit, the project will be required to develop a Construction Traffic Management Plan that includes the following elements: <ul style="list-style-type: none"> Restrict construction worker and equipment delivery trips to occur outside of the weekday AM and PM peak hours. Identify and establish truck haul routes and restrict haul operations to occur outside of the weekday AM and PM peak hours. 	Prior to issuance of grading permit	City of Newport Beach Public Works Department	
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<i>Mitigation Measure</i>	<i>Phase of Implementation</i>	<i>Responsible Monitoring Party</i>	<i>Completion Date/Initials</i>
<ul style="list-style-type: none"> Provide Traffic Control Plans for detours and temporary road closures (if necessary) that meet the minimum Caltrans, City, and County criteria. 			
<p>11. The applicant shall contact OCTA and coordinate operation of the Coast-Dover bus stop along the project's West Coast Highway frontage during project construction. Mitigation as required to suspend operation, or modify or temporarily relocate the bus stop during project construction activities shall be negotiated with OCTA. The applicant shall provide the plans/mitigation to the City as negotiated with OCTA for review and approval by the City of Newport Beach's Planning Division and Public Works Department prior to issuance of grading permits. The applicant shall provide OCTA with a minimum 14-day advance notice prior to the start of construction activities by contacting either the Detour Coordinator or Field Operations.</p>	Prior to issuance of grading permit	City of Newport Beach Community Development and Public Works Department	

EXHIBIT "B"

Table LU2 Anomaly Locations

Anomaly Number	Statistical Area	Land Use Designation	Development Limit (sf)	Development Limit (Other)	Additional Information
1	L4	MU-H2	460,095	471 Hotel Rooms (not included in total square footage)	
2	L4	MU-H2	1,052,880		
2.1	L4	MU-H2	18,810		11,544 sf restricted to general office use only (included in total square footage)
3	L4	CO-G	734,641		
4	L4	MU-H2	250,176		
5	L4	MU-H2	32,500		
6	L4	MU-H2	46,044		
7	L4	MU-H2	81,372		
8	L4	MU-H2	442,775		
9	L4	CG	120,000	164 Hotel Rooms (included in total square footage)	
10	L4	MU-H2	31,362	349 Hotel Rooms (not included in total square footage)	
11	L4	CG	11,950		
12	L4	MU-H2	457,880		
13	L4	CO-G	288,264		
14	L4	CO-G/MU-H2	860,884		
15	L4	MU-H2	228,214		
16	L4	CO-G	344,231		
17	L4	MU-H2	33,292	304 Hotel Rooms (not included in total square footage)	
18	L4	CG	225,280		
19	L4	CG	228,530		
21	J6	CO-G	687,000		Office: 660,000 sf; Retail: 27,000 sf
		CV		300 Hotel Rooms	
22	J6	CO-G	70,000		Restaurant: 8000 sf, or Office: 70,000 sf
23	K2	PR	15,000		
24	L3	IG	89,624		
25	L3	PI	84,585		
26	L3	IG	33,940		
27	L3	IG	86,000		
28	L3	IG	110,600		
29	L3	CG	47,500		
30	M6	CG	54,000		
31	L2	PR	75,000		
32	L2	PI	34,000		

Table LU2 Anomaly Locations

Anomaly Number	Statistical Area	Land Use Designation	Development Limit (sf)	Development Limit (Other)	Additional Information
33	M3	PI	163,680		Administrative Office and Support Facilities: 30,000 sf Community Mausoleum and Garden Crypts: 121,680 sf Family Mausoleums: 12,000 sf
34	L1	CO-R	484,348		
35	L1	CO-R	199,095		
36	L1	CO-R	227,797		
37	L1	CO-R	131,201	2,050 Theater Seats (not included in total square footage)	
38	L1	CO-M	443,627		
39	L1	MU-H3	408,084		
40	L1	MU-H3	1,426,634	425 Hotel Rooms (included in total Square Footage)	
41	L1	CO-R	327,671		
42	L1	CO-R	286,166		
43	L1	CV		611 Hotel Rooms	
44	L1	CR	1,619,525	1,700 Theater Seats (not included in total square footage)	
45	L1	CO-G	162,364		
46	L1	MU-H3/PR	3,725	24 Tennis Courts	Residential permitted in accordance with MU-H3.
47	L1	CG	105,000		
48	L1	MU-H3	337,261		
49	L1	PI	45,208		
50	L1	CG	25,000		
51	K1	PR	20,000		
52	K1	CV		479 Hotel Rooms	
53	K1	PR	567,500		See Settlement Agreement
54	J1	CM	2,000		
55	H3	PI	119,440		
56	A3	PI	1,343,238	990,349 sf Upper Campus 577,889 sf Lower Campus	In no event shall the total combined gross floor area of both campuses exceed the development limit of 1,343,238 sq. ft.
57	Intentionally Blank				
58	J5	PR	20,000		
59	H4	MU-W1	247,402	144 Dwelling Units (included in total square footage)	
60	N	CV	2,660,000	2,150 Hotel Rooms (included in total square footage)	
61	N	CV	125,000		
62	L2	CG	2,300		

Table LU2 Anomaly Locations

Anomaly Number	Statistical Area	Land Use Designation	Development Limit (sf)	Development Limit (Other)	Additional Information
63	G1	CN	66,000		
64	M3	CN	74,000		
65	M5	CN	80,000		
66	J2	CN	138,500		
67	D2	PI	20,000		
68	L3	PI	71,150		
69	K2	CN	75,000		
70	D2	RM-D			Parking Structure for Bay Island (No Residential Units)
71	L1	CO-G	11,630		
72	L1	CO-G	8,000		
73	A3	CO-M	350,000		
74	L1	PR	35,000		
75	L1	PF			City Hall, and the administrative offices of the City of Newport Beach, and related parking, pursuant to Section 425 of the City Charter.
76	H1	CO-G		0.5 FAR	1.0 FAR permitted, provided all four legal lots are consolidated into one parcel to provide unified site design
77	H4	CV	240,000	157 Hotel Rooms (included in total square footage)	
78	B5	CM	139,840		
79	H4	CG		03./0.5 FAR	Development limit of 19,905 sq. ft. permitted, provided all six legal lots are consolidated into one parcel to provide unified site design

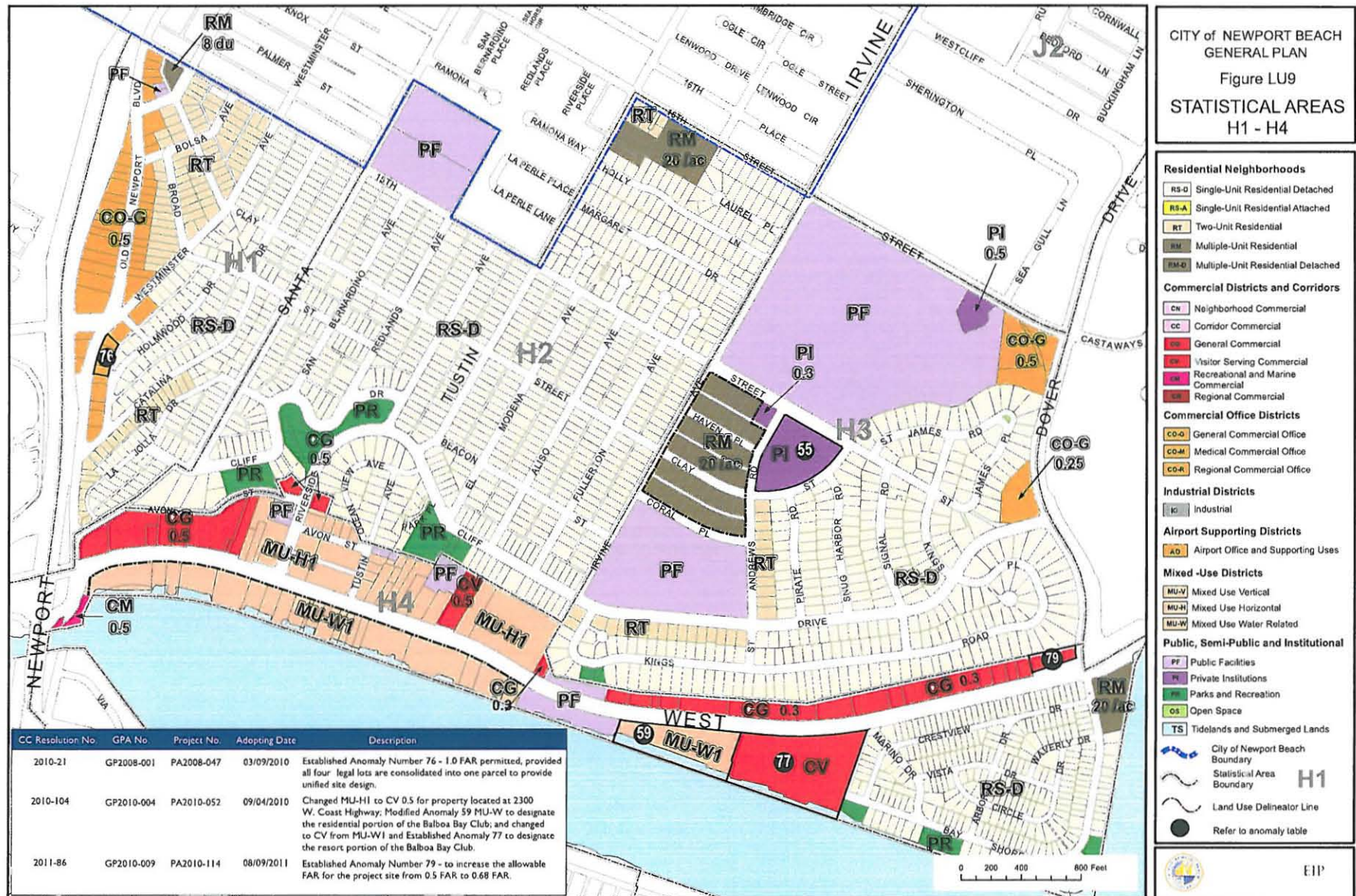


EXHIBIT "C"

CONDITIONS OF APPROVAL (Project-specific conditions are in italics)

PLANNING

1. *The development shall be in substantial conformance with the approved site plan, floor plans, roof plans, conceptual building elevations, and conceptual landscape plans stamped and dated with the date of this approval. (Except as modified by applicable conditions of approval.)*
2. *Site Development Review No. SR2010-001, Conditional Use Permit No. UP2010-024, and Variance No. 2010-004 shall expire unless exercised within 24 months from the date of approval as specified in Section 20.54.060 of the Newport Beach Municipal Code, unless an extension is otherwise granted.*
3. *The outdoor patio and block wall proposed to encroach into the Dover Drive public right-of-way shall be eliminated, unless this conditional use permit is amended or a new conditional use permit is approved in conjunction with an eating and drinking establishment that specifically approves the construction of the outdoor patio and an encroachment or lease agreement is approved by the Public Work's Department.*
4. *Prior to the issuance of building permits, the final building elevations and roof plan of the final architectural plans for the commercial building and parking structure shall be reviewed and approved by the Planning Commission to ensure that the high level of architectural detail and treatments illustrated on the approved conceptual plans is implemented and incorporated into the final construction drawings for building permit issuance. The specific colors and materials (including roof colors and materials), window and door specifications, lighting specifications, and any other information deemed relevant by the Community Development Director shall be submitted to the Planning Commission for review and approval. Any substantial changes to the approved final architectural plans shall require approval by the Planning Commission.*
5. *Flat roof portions of the building shall be constructed to meet "cool roofs" standards for energy efficiency; however, the color and material shall not result in glare as viewed from the residents above. No mechanical equipment shall be permitted on the roof, except within the designated mechanical well and shall not be visible from West Coast Highway or the adjacent residential properties.*
6. *Uses shall be permitted, or conditionally permitted, within the project consistent with the provisions of the Zoning Code, so long as they do not increase the approved traffic generation for the project (TS2011-001).*

7. *Required parking for this project has been determined based on documentation and a number of assumptions, including: 1) the shared parking analysis prepared by LSA Associates, Inc., dated July 22, 2011; 2) a limitation that the maximum Net Public Area (NPA) of eating and drinking uses be limited to 5,210 square feet; and 3) the proposed floor area for eating and drinking uses will be occupied by fine dining establishments with very low turnover with a parking demand of 1 space per 50 square feet of NPA. Any changes to the assumed tenant mix or changes in the type of food use that would increase parking demands may require the preparation of a new shared parking analysis to ensure that adequate parking can be provided on site, and shall be subject to the review and approval of the Community Development Department.*
8. *A total of 150 parking spaces shall be provided on site as illustrated on the approved plans and parking management plan for the project.*
9. *The upper level of the parking structure shall only be used for employee or valet parking, unless an amendment to this Conditional Use Permit and new parking management plan is prepared and approved.*
10. *Any minor changes to the parking management plan shall be reviewed and approved by the Community Development Director and City Traffic Engineer prior to implementation. Significant changes may require an amendment to this Conditional Use Permit.*
11. *Should the applicant propose to alter the location and/or number of vehicular access points, or propose to take vehicular access across the adjacent property located at 320 West Coast Highway, such proposal shall be subject to review and approval by the Community Development Director and the City Traffic Engineer.*
12. *Should this business be sold or otherwise come under different ownership, any future owners or assignees shall be notified in writing of the conditions of this approval by the current owner or leasing company.*
13. *The project is subject to all applicable City ordinances, policies, and standards, unless specifically waived or modified by the conditions of approval.*
14. *The applicant shall comply with all federal, state, and local laws. Material violation of any of those laws in connection with the use may be cause for modification or revocation of Site Development Review No. SR2010-001, Conditional Use Permit No. UP2010-024, and Variance No. 2010-004.*
15. *This approval was based on the particulars of the individual case and does not in and of itself or in combination with other approvals in the vicinity or Citywide constitute a precedent for future approvals or decisions.*
16. *This Conditional Use Permit, Site Development Review, and Variance may be modified or revoked by the City Council or Planning Commission should they determine that the proposed development, uses, and/ or conditions under which it is being operated or maintained is detrimental to the public health, welfare or materially injurious to property or*

improvements in the vicinity or if the property is operated or maintained so as to constitute a public nuisance.

17. *Hours of operations for the uses within the project shall be limited to between 6:00 a.m. and 11:00 p.m. daily, unless otherwise permitted to maintain different hours of operation pursuant to a subsequent Conditional Use Permit.*
18. *All employees are required to park on site, unless otherwise approved by the Community Development Director, and may require an amendment to this Site Development Review and Conditional Use Permit.*
19. *Any change in operational characteristics, hours of operation, expansion in area, or other modification to the approved plans, shall require an amendment to Site Development Review No. SR2010-001, Conditional Use Permit No. UP2010-024, and/or Variance No. 2010-004 or the processing of new permits.*
20. *Prior to the issuance of building permits, the final landscape and irrigation plan, prepared by a licensed landscape architect, shall be reviewed and approved by the Planning Commission to ensure that the landscaping improvements illustrated on the approved conceptual plan are implemented and incorporated into the final construction drawings for building permit issuance. These plans shall include specifications and details for all hardscape, water features, plant materials, planting sizes (including heights, box size, trunk diameters, etc), and growth characteristics. Any substantial changes to the approved final landscape plan shall require approval by the Planning Commission.*
21. *All landscape materials and landscaped areas shall be installed and maintained in accordance with the final landscape plan approved by the Planning Commission per Condition No. 20, including the proposed water feature. All landscaped areas shall be maintained in a healthy and growing condition and shall receive regular pruning, fertilizing, mowing, and trimming. All landscaped areas shall be kept free of weeds and debris. All irrigation systems shall be kept operable, including adjustments, replacements, repairs, and cleaning as part of regular maintenance. These plans shall incorporate drought tolerant plantings and water efficient irrigation practices, and the plans shall be reviewed by the Municipal Operations Department. All planting areas shall be provided with a permanent underground automatic sprinkler irrigation system of a design suitable for the type and arrangement of the plant materials selected. The irrigation system shall be adjustable based upon either a signal from a satellite or an on-site moisture-sensor. Planting areas adjacent to vehicular activity shall be protected by a continuous concrete curb or similar permanent barrier. Landscaping shall be located so as not to impede vehicular sight distance to the satisfaction of the Traffic Engineer.*
22. *Prior to the final of building permits, the applicant shall schedule an inspection by the Code Enforcement Division to confirm that all landscaping was installed in accordance with the approved plan.*
23. *Reclaimed water shall be used whenever available, assuming it is economically feasible.*

24. Water leaving the project site due to over-irrigation of landscape shall be minimized. If an incident such as this is reported, a representative from the Code Enforcement Division shall visit the location, investigate, inform and notice the responsible party, and, as appropriate, cite the responsible party and/or shut off the irrigation water.
25. Watering shall be done during the early morning or evening hours (between 4:00 p.m. and 9:00 a.m.) to minimize evaporation the following morning.
26. All leaks shall be investigated by a representative from the Code Enforcement Division and the property owner or operator shall complete all required repairs.
27. Water shall not be used to clean paved surfaces such as sidewalks, driveways, parking areas, etc. except to alleviate immediate safety or sanitation hazards.
28. *Landscaping and plant selections shall be consistent with the applicable landscaping recommendations set forth by the Mariner's Mile Strategic Vision and Design Framework.*
29. New utility connections shall be placed underground unless the Public Works Department determines that undergrounding the connection is physically infeasible. Appurtenant and associated utility equipment such as transformers, utility vaults, terminal boxes, meter cabinets shall be placed underground unless the Public Works Department determines that undergrounding the appurtenant and associated equipment is physically infeasible. If appurtenant and associated utility equipment cannot be placed underground, the equipment shall be located in the least visible location practical and screened from public view on-site and off-site by fencing or landscaping to the satisfaction of the Community Development Director.
30. *The three existing power poles and overhead power lines shall be removed and the power lines shall be underground.*
31. All ground-mounted equipment including, but not limited to backflow preventers, vents, air handlers, generators, boilers, trash bins, transformers shall be screened from view behind and fully below the top of a screen wall or a solid hedge. Screen walls shall be of same or similar material as adjacent building walls and covered with vines when possible. Chain link fencing with slats is not permitted.
32. *All mechanical equipment shall be screened from view of adjacent properties and adjacent public streets within the mechanical screening equipment enclosure illustrated on the approved plans, and shall be sound attenuated in accordance with Chapter 10.26 of the Newport Beach Municipal Code, Community Noise Control.*
33. All noise generated by the proposed use shall comply with the provisions of Chapter 10.26 and other applicable noise control requirements of the Newport Beach Municipal Code. The maximum noise shall be limited to no more than depicted below for the specified time periods unless the ambient noise level is higher:

	Between the hours of 7:00AM and 10:00PM		Between the hours of 10:00PM and 7:00AM	
Location	Interior	Exterior	Interior	Exterior
Residential Property	45dBA	55dBA	40dBA	50dBA
Residential Property located within 100 feet of a commercial property	45dBA	60dBA	45dBA	50dBA
Mixed Use Property	45dBA	60dBA	45dBA	50dBA
Commercial Property	N/A	65dBA	N/A	60dBA

34. No outside paging system shall be utilized in conjunction with this development.
35. Construction activities shall comply with Section 10.28.040 of the Newport Beach Municipal Code, which restricts hours of noise-generating construction activities that produce noise to between the hours of 7:00 a.m. and 6:30 p.m., Monday through Friday and 8:00 a.m. and 6:00 p.m. on Saturday. Noise-generating construction activities are not allowed on Sundays or Holidays.
36. The operator of the development shall be responsible for the control of noise generated by the subject facility including, but not limited to, noise generated by tenants, patrons, food service operations, and mechanical equipment. All noise generated by the proposed use shall comply with the provisions of Chapter 10.26 and other applicable noise control requirements of the Newport Beach Municipal Code.
37. Prior to the issuance of a building permit, the applicant shall pay any unpaid administrative costs associated with the processing of this application to the Planning Division.
38. *All trash shall be stored within the proposed trash enclosure located within the lower level of the parking structure or other approved enclosure. The trash dumpsters shall have a top, which shall remain closed at all times, except when being loaded or while being collected by the refuse collection agency.*
39. *Food uses shall be required to provide temporary refrigerated trash storage to control odors associated with food wastes, unless otherwise approved by the Community Development Director.*
40. Trash receptacles for patrons shall be conveniently located both inside and outside of the establishment, however, not located on or within any public property or right-of-way.
41. The exterior of the business shall be maintained free of litter and graffiti at all times. The owner or operator shall provide for daily removal of trash, litter debris and graffiti from the premises and on all abutting sidewalks within 20 feet of the premises.
42. The applicant shall ensure that the trash dumpsters and/or receptacles are maintained to control odors. This may include the provision of either fully self-contained dumpsters or periodic steam cleaning of the dumpsters, if deemed necessary by the Planning Division. Cleaning and maintenance of trash dumpsters shall be done in compliance with the

provisions of Title 14, including all future amendments (including Water Quality related requirements).

43. *To minimize conflict within the parking structure, refuse collection and deliveries for the facility utilizing large vehicles shall be allowed between the hours of 6:00 a.m. and 10:00 a.m., daily, unless otherwise approved by the Community Development Director, and may require an amendment to this Site Development Review and Conditional Use Permit.*
44. *Storage outside of the building or the parking structure shall be prohibited.*
45. All proposed signs shall be in conformance with the provision of Chapter 20.42 of the Newport Beach Municipal Code and shall be approved by the City Traffic Engineer if located adjacent to the vehicular ingress and egress.
46. The final location of the signs shall be reviewed by the City Traffic Engineer and shall conform to City Standard 110-L to ensure that adequate sight distance is provided.
47. Lighting shall be in compliance with applicable standards of the Zoning Code. Exterior on-site lighting shall be shielded and confined within site boundaries. No direct rays or glare are permitted to shine onto public streets or adjacent sites or create a public nuisance. "Walpak" type fixtures are not permitted. Parking area lighting shall have zero cut-off fixtures.
48. The site shall not be excessively illuminated based on the outdoor lighting standards contained within Section 20.30.070 of the Zoning Code, or, if in the opinion of the Community Development Director, the illumination creates an unacceptable negative impact on surrounding land uses or environmental resources. The Community Development Director may order the dimming of light sources or other remediation upon finding that the site is excessively illuminated.
49. Prior to the issuance of a building permits, the applicant shall prepare photometric study in conjunction with a final lighting plan for approval by the Planning Division. The survey shall show that lighting values are "1" or less at all property lines.
50. *Any proposed illumination of the cupola and tower features shall consist of soft accent lighting so as not to become a visual disturbance to the views of the adjacent residences*
51. Prior to issuance of the certificate of occupancy or final of building permits, the applicant shall schedule an evening inspection by the Code Enforcement Division to confirm control of all lighting sources.
52. *A covered wash-out area for refuse containers and kitchen equipment, with minimum useable area dimensions of 36-inches wide, 36-inches deep and 72-inches high, shall be provided for all food uses, and the area shall drain directly into the sewer system, unless otherwise approved by the Building Official and Public Works Director in conjunction with the approval of an alternate drainage plan.*

53. Kitchen exhaust fans shall be installed/maintained in accordance with the Uniform Mechanical Code. The issues with regard to the control of smoke and odor shall be directed to the South Coast Air Quality Management District.
54. *The exhaust systems for any food uses shall be installed with pollution control units to filter and control odors.*
55. The construction and equipment staging area shall be located in the least visually prominent area on the site and shall be properly maintained and/or screened to minimize potential unsightly conditions.
56. A six-foot-high screen and security fence shall be placed around the construction site during construction.
57. Construction equipment and materials shall be properly stored on the site when not in use.
58. *To the fullest extent permitted by law, applicant shall indemnify, defend and hold harmless City, its City Council, its boards and commissions, officials, officers, employees, and agents from and against any and all claims, demands, obligations, damages, actions, causes of action, suits, losses, judgments, fines, penalties, liabilities, costs and expenses (including without limitation, attorney's fees, disbursements and court costs) of every kind and nature whatsoever which may arise from or in any manner relate (directly or indirectly) to City's approval of the Mariner's Pointe Project including, but not limited to, the approval of General Plan Amendment No. GP2010-009, Code Amendment No. CA2010-009, Site Development Review No. SR2010-001, Conditional Use Permit No. 2010-024, Variance No. 2010-004, and Parcel Map No. 2010-008; and/or the City's related California Environmental Quality Act determinations, the certification of the Mitigated Negative Declaration and/or the adoption of a Mitigation Monitoring Program for the project. This indemnification shall include, but not be limited to, damages awarded against the City, if any, costs of suit, attorneys' fees, and other expenses incurred in connection with such claim, action, causes of action, suit or proceeding whether incurred by applicant, City, and/or the parties initiating or bringing such proceeding. The applicant shall indemnify the City for all of City's costs, attorneys' fees, and damages which City incurs in enforcing the indemnification provisions set forth in this condition. The applicant shall pay to the City upon demand any amount owed to the City pursuant to the indemnification requirements prescribed in this condition.*

Fire Department Conditions

59. Elevators shall be gurney-accommodating in accordance with Article 30 of the California Building Code (2007 edition).
60. Fire flow shall be provided to the property in accordance with Newport Beach Fire Department Guideline B.01.
61. *Fire sprinklers shall be installed throughout the commercial building and parking structure.*

62. *Fire apparatus access is required onto the property. The first level of the parking structure shall accommodate an inside turning radius of 20 feet and an outside turning radius of 40 feet. A clear ceiling height of 13 feet 6 inches shall be required.*
63. A manual fire alarms system is required that activates the occupant notification system in Group "M" occupancies when the combined occupant load of all floors is 500 or more persons or the Group "M" occupant load is more than 100 persons or below the lowest level of exit discharge.
64. *The proposed fire curtain between the parking structure and the exit corridor shall require activation by a smoke detector, unless deemed unnecessary by the Fire Marshall. A smoke detector in this location may be subject to nuisance alarms from car exhaust, which can result in false alarm fees from the City.*

Building Division Conditions

65. The applicant is required to obtain all applicable permits from the City Building and Fire Departments. The construction plans must comply with the most recent, City-adopted version of the California Building Code. The construction plans must meet all applicable State Disabilities Access requirements.
66. Prior to the issuance of grading permits, a Storm Water Pollution Prevention Plan (SWPPP) and Notice of Intent (NOI) to comply with the General Permit for Construction Activities shall be prepared, submitted to the State Water Quality Control Board for approval and made part of the construction program. The project applicant will provide the City with a copy of the NOI and their application check as proof of filing with the State Water Quality Control Board. This plan will detail measures and practices that will be in effect during construction to minimize the project's impact on water quality.
67. Prior to issuance of grading permits, the applicant shall prepare and submit a Water Quality Management Plan (WQMP) for the proposed project, subject to the approval of the Building Division. The WQMP shall provide appropriate Best Management Practices (BMPs) to ensure that no violations of water quality standards or waste discharge requirements occur.
68. A list of "good house-keeping" practices will be incorporated into the long-term post-construction operation of the site to minimize the likelihood that pollutants will be used, stored or spilled on the site that could impair water quality. These may include frequent parking area vacuum truck sweeping, removal of wastes or spills, limited use of harmful fertilizers or pesticides, and the diversion of storm water away from potential sources of pollution (e.g., trash receptacles and parking structures). The Stage 2 WQMP shall list and describe all structural and non-structural BMPs. In addition, the WQMP must also identify the entity responsible for the long-term inspection, maintenance, and funding for all structural (and if applicable Treatment Control) BMPs.
69. The applicant shall comply with SCAQMD Rule 403 requirements as follows:

Land Clearing/Earth-Moving

- a. Exposed pits (i.e., gravel, soil, dirt) with five percent or greater silt content shall be watered twice daily, enclosed, covered, or treated with non-toxic soil stabilizers according to manufacturers' specifications.
- b. All other active sites shall be watered twice daily.
- c. All grading activities shall cease during second stage smog alerts and periods of high winds (i.e., greater than 25 mph) if soil is being transported to off-site locations and cannot be controlled by watering.
- d. All trucks hauling dirt, sand, soil, or other loose materials off-site shall be covered or wetted or shall maintain at least two feet of freeboard (i.e., minimum vertical distance between the top of the load and the top of the trailer).
- e. Portions of the construction site to remain inactive longer than a period of three months shall be seeded and watered until grass cover is grown or otherwise stabilized in a manner acceptable to the City.
- f. All vehicles on the construction site shall travel at speeds less than 15 mph.
- g. All diesel-powered vehicles and equipment shall be properly operated and maintained.
- h. All diesel-powered vehicles and gasoline-powered equipment shall be turned off when not in use for more than five minutes.
- j. The construction contractor shall utilize electric or natural gas-powered equipment instead of gasoline or diesel-powered engines, where feasible.

Paved Roads

- k. All construction roads internal to the construction site that have a traffic volume of more than 50 daily trips by construction equipment, or 150 total daily trips for all vehicles, shall be surfaced with base material or decomposed granite, or shall be paved.
- l. Streets shall be swept hourly if visible soil material has been carried onto adjacent public paved roads.
- m. Construction equipment shall be visually inspected prior to leaving the site and loose dirt shall be washed off with wheel washers as necessary.

Unpaved Staging Areas or Roads

- n. Water or non-toxic soil stabilizers shall be applied, according to manufacturers' specifications, as needed to reduce off-site transport of fugitive dust from all unpaved staging areas and unpaved road surfaces.

Public Works Conditions

71. *The parking layout and circulation shall comply with City Standard STD-805-L-A and STD-805-L-B. The vehicular ramps within the parking garage should be a minimum of 24 feet wide. Ramp slopes shall not exceed 15-percent maximum. The maximum percent change is 11-percent at a minimum of five-foot intervals. The five-foot interval shall continue across the entire ramp. Parallel parking spaces shall be 8 feet wide by 22 feet long.*
72. *Prior to the issuance of a Building Permit, the final parking layout and circulation shall be subject to the review and approval by the City Traffic Engineer.*
73. *Prior to the issuance of a building or grading permit, a final valet operations plan is required to be reviewed and approved by the City Traffic Engineer. Any future changes to the approved valet plan shall be reviewed and approved by the Community Development Director and Traffic Engineer. The applicant shall immediately resolve any valet operational issues that impact the public right-of-way.*
74. *The ceiling height of the first level of the parking structure shall maintain an unobstructed vertical clearance of 14 feet clear.*
75. *Prior to the issue of a building permit, the applicant shall obtain approval from the adjacent property owner for the proposed lane drop extension and sidewalk along West Coast Highway running through the property and shall obtain an easement/dedication for the City for Street and Sidewalk purposes.*
76. *The driveway entrances to West Coast Highway shall be designed to accommodate vehicular sight distance per City Standard STD-110-L. All planting shall be limited to 24 inches in height maximum within the limited use area. Walls or other permanent obstructions shall be limited to 30 inches in height maximum within the limited use area.*
77. *The westerly outbound only driveway shall be narrowed to 20 feet maximum and appropriate signage shall be installed to discourage vehicles from entering the driveway, unless otherwise approved by the City Traffic Engineer.*
78. *The proposed striping changes on West Coast Highway shall be reviewed and approved by Caltrans prior to implementation.*
79. *The water feature and other non-standard improvements within the West Coast Highway right-of-way requires approval from the State Department of Transportation (Caltrans).*

80. *Water feature along Dover Drive shall require the review and approval of a Building Permit and requires an encroachment permit and agreement from the City of Newport Beach Public Work's Department.*
81. All landscaping within the public right-of-way shall be reviewed and approved by the Public Works Department and Municipal Operations Department. An encroachment agreement is required for all planting within the public right-of-way.
82. *No permanent structure shall be permitted within the required 10-foot-wide sewer easement area, unless otherwise approved by the Public Work's Department. The applicant is required to replace the 8-inch sewer main from the manhole located on the property line between 303 and 311 Kings Road and the manhole located on West Coast Highway. Knock-out panels or other improvements approved by the Public Works Department shall be installed along the entire length of the required 10-wide sewer easement. The final design of the parking structure shall take into account the sewer main and shall be subject to further review and approval by the Public Works Department.*
83. *Applicant shall bear all cost (design and construction) of the necessary water system and sewer improvements needed to support the proposed project, including minimum fire flow requirements. The water system improvements may include installation of a regulator and water main extension. The final design shall be reviewed and approved by the Public Works Department.*
84. Prior to issuance of demolition and grading permits, the applicant shall submit a construction management and delivery plan to be reviewed and approved by the Public Works Department. The plan shall include discussion of project phasing, parking arrangements for both sites during construction, and anticipated haul routes. Upon approval of the plan, the applicant shall be responsible for implementing and complying with the stipulations set forth in the approved plan.
85. Traffic control and truck route plans shall be reviewed and approved by the Public Works Department before their implementation. Large construction vehicles shall not be permitted to travel narrow streets as determined by the Public Works Department. Disruption caused by construction work along roadways and by movement of construction vehicles shall be minimized by proper use of traffic control equipment and flagman.

Parcel Map Conditions

86. This Parcel Map shall expire if the map has not been recorded within three years of the date of approval, unless an extension is granted by the Community Development Director in accordance with the provisions of Section 19.16 of the Newport Beach Municipal Code.
87. A parcel Map shall be recorded. The Map shall be prepared on the California coordinate system (NAD88). Prior to recordation of the Map, the surveyor/engineer

preparing the Map shall submit to the County Surveyor and the City of Newport Beach a digital-graphic file of said map in a manner described in Section 7-9-330 and 7-9-337 of the Orange County Subdivision Code and Orange County Subdivision Manual, Subarticle 18. **The Map to be submitted to the City of Newport Beach shall comply with the City's CADD Standards. Scanned images will not be accepted.**

88. Prior to recordation of the parcel map, the surveyor/engineer preparing the map shall tie the boundary of the map into the Horizontal Control System established by the County Surveyor in a manner described in Section s 7-9-330 and 7-9-337 of the Orange County Subdivision Code and Orange County Subdivision Manual, Subarticle 18. Monuments (one inch iron pipe with tag) shall be set On Each Lot Corner unless otherwise approved by the Subdivision Engineer. Monuments shall be protected in place if installed prior to completion of construction project.
89. All improvements shall be constructed as required by Ordinance and the Public Works Department.
90. *The sidewalk, curb and gutter shall be reconstructed along the entire project frontage of West Coast Highway and Dover Drive. The sidewalk shall be a minimum width of 10 feet on West Coast Highway and 12 feet on Dover Drive. Limits of reconstruction are at the discretion of the Public Works inspector.*
91. *All unused driveway approaches along Dover Drive and West Coast Highway shall be replaced with a new driveway plug per City Standards.*
92. All new driveway approaches shall be constructed per City Standard STD-166-L.
93. All existing overhead utilities shall be undergrounded.
94. An encroachment permit is required for all work activities within the public right-of-way.
95. All improvements shall comply with the City's sight distance requirement. See City Standard 110-L.
96. In case of damage done to public improvements surrounding the development site by the private construction, additional reconstruction within the public right-of-way could be required at the discretion of the Public Works Inspector.
97. All on-site drainage shall comply with the latest City Water Quality requirements.
98. All proposed non-standard improvements within the public right of way, are subject to further review and approval by the Public Works Department and requires an encroachment permit and encroachment agreement.
99. *A 10-foot-wide sewer easement shall be provided through the lower level parking garage to accommodate the existing sewer main running through the property and connecting to West Coast Highway.*

100. *The applicant shall dedicate to the City a 20' by 27' area located at the southwest corner of the property to accommodate the new transition on West Coast Highway.*
101. *Relocation of the safety lighting on West Coast Highway requires approval from Caltrans.*

Mitigation Measures

102. *The applicant shall comply with all mitigation measures and standard conditions contained within the approved Mitigation Monitoring and Reporting Program of the adopted Mitigated Negative Declaration (Exhibit A) for the project.*

STATE OF CALIFORNIA }
COUNTY OF ORANGE }
CITY OF NEWPORT BEACH } ss.

I, Leilani I. Brown, City Clerk of the City of Newport Beach, California, do hereby certify that the whole number of members of the City Council is seven; that the foregoing resolution, being Resolution No. 2011-86 was duly and regularly introduced before and adopted by the City Council of said City at a regular meeting of said Council, duly and regularly held on the 9th day of August, 2011, and that the same was so passed and adopted by the following vote, to wit:

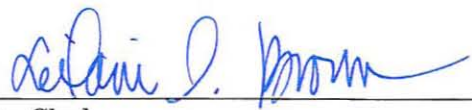
Ayes: Hill, Rosansky, Selich, Curry, Mayor Henn

Noes: Gardner, Daigle

Absent: None

Abstain: None

IN WITNESS WHEREOF, I have hereunto subscribed my name and affixed the official seal of said City this 10th day of August, 2011.



City Clerk
Newport Beach, California

(Seal)



Attachment No. PC 3

Planning Commission Resolution No.
2012-1878

RESOLUTION NO. 1878

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF NEWPORT BEACH APPROVING THE FINAL ARCHITECTURAL AND LANDSCAPING PLANS FOR THE MARINER'S POINTE PROJECT LOCATED AT 100-300 WEST COAST HIGHWAY AND FINDING CHANGES IN DESIGN TO BE IN SUBSTANTIAL CONFORMANCE WITH THE DESIGN APPROVED BY SITE DEVELOPMENT REVIEW SR2010-001 AND USE PERMIT NO. UP2010-024 (PA2010-114)

THE PLANNING COMMISSION OF THE CITY OF NEWPORT BEACH HEREBY FINDS AS FOLLOWS:

SECTION 1. STATEMENT OF FACTS.

1. On August 9, 2011, the City Council adopted Resolution No. 2011-86 approving the Mariner's Pointe project, a 19,905-square-foot commercial building and a three-level parking structure on a 0.76-acre site located 100-300 West Coast Highway, and legally described as Lots 1, 2, 3, 4, 5, and 6 of Tract No. 1210; and
2. In compliance with Condition No. 4 of City Council Resolution No. 2011-86, the applicant, VBAS Corporation, has submitted final architectural plans for review and approval by the Planning Commission; and
3. In compliance with Condition No. 20 of City Council Resolution No. 2011-86, the applicant has submitted final landscaping plans for review and approval by the Planning Commission; and
4. The applicant has proposed revisions to the approved conceptual building design, which include minor increases in height to various tower elements of the parking structure and the addition and expansion of rooftop mechanical equipment enclosures; and
5. A public meeting was held by the Planning Commission on June 7, 2012, in the City Hall Council Chambers, 3300 Newport Boulevard, Newport Beach, California. A notice of time, place and purpose of the meeting was given in accordance with the Newport Beach Municipal Code. Evidence, both written and oral, was presented to, and considered by, the Planning Commission at this meeting; and

SECTION 2. CALIFORNIA ENVIRONMENTAL QUALITY ACT DETERMINATION.

1. A Mitigated Negative Declaration (SCH No. No. 2011041038) was prepared for the project in accordance with the implementing guidelines of the California Environmental Quality Act (CEQA). The document was made available for public review and comment during a 30-day review period beginning on April 11, 2011, and ending on May 11, 2011, and subsequently approved by the City Council on August 9, 2011. A subsequent mitigated negative declaration for the project is not required to be prepared pursuant to CEQA Guidelines Section 15162 because the proposed

revisions to project design are minor and do not constitute "substantial changes" to the project that would involve new significant environmental effects or result in additional mitigation measures.

SECTION 3. REQUIRED FINDINGS.

1. Pursuant to Condition of Approval No. 4, the Planning Commission must find that the final architectural plans incorporate the architectural elements and high level of detail that were illustrated in the approved conceptual plans. The following facts in support of such finding are set forth:

Facts in Support of Finding:

- A. Although minor adjustments have been made to the building elevations, the proposed final plans implement the principal architectural elements and high level of detail that was illustrated in the approved conceptual plans, including the balconies, tower features, awnings, ornamental windows and railings, cornices and moldings, stone veneer, ornamental lighting fixtures, and variation in building elevations.
- B. To reduce the overall mass of the building and to enhance its visual quality, the design utilizes several vertical and horizontal offsets, includes variation in height through the use of entry and corner tower elements, and utilizes multiple materials and colors.
- C. Additional architectural enhancements have also been added; for example, the openings within the main tower element of the parking structure have been covered with decorative metal screen that will conceal vehicles accessing the parking structure ramps and interior lighting. It also provides an additional layer to the wall plane with accent lighting to increase visual interest.
- D. The final plans also maintain the clean roof design with all mechanical equipment screened from view within equipment enclosures to enhance the aesthetics of the roof as viewed by the residences above. The flat portions of the roof are proposed to be constructed with materials that meet required "cool roofs" standards for energy efficiency, but will be tan in color to reduce glare.
- E. The lighting plans illustrate that all exterior lighting fixtures have been designed, shielded, aimed, or located to shield adjacent properties and to avoid excessive light and glare inconsistent with the project conditions of approval and the outdoor lighting standards of the Zoning Code. The cupola and tower feature located at the southeasterly corner of the building includes accent lighting around its perimeter; however, lighting has been eliminated from the interior and rear of the feature to avoid unnecessary lighting that could impact the residences above.

2. Pursuant to Condition of Approval No. 20, the Planning Commission must find that the final landscaping plans implement the landscaping improvements that were illustrated in the approved conceptual plans. The following facts in support of such finding are set forth:

Facts in Support of Finding:

- A. The approved conceptual landscape plan included extensive decorative paving, a 280-square-foot water feature, and approximately 3,700 square feet of planter area that included a variety of plant materials. Minor revisions have been made to the final landscaping plan, including revised placement of palm trees, increased decorative paving in front of Suite R-104, and an enlarged water feature. Planter area has been reduced to approximately 2,460 square feet due to increased decorative paving and an enlarged water feature area of 598 square feet.
 - B. The plan continues to implement the landscape requirements of the Mariner's Mile Strategic Vision and Design Framework by providing the minimum four-foot-wide planter area with continuous hedge and palms. Despite the reduction in planter area, the plans maintain a variation of ornamental groundcover, vines, shrubs, and trees to help soften and buffer the massing of the parking structure and commercial building from the surrounding areas and roadways
3. Upon completing the structural drawings for the project, a number of revisions needed to be made to the approved conceptual building. Pursuant to Condition of Approval No. 1, the project design changes shall be in substantial conformance with the approved conceptual plans and pursuant to Condition of Approval No. 4, the Planning Commission may approve changes. The following facts in support of such finding are set forth:

Facts in Support of Finding:

- A. The increased height for the three parking structure tower elements continue to comply with the maximum 35-foot height limit for flat roofs and 40-foot height limit for sloping roofs that was approved under Site Development Review No. SR2010-001. These features within the context of the overall design will provide visual interest as vertical elements that help break up the project massing.
- B. The changes in the design of the roof-mounted mechanical equipment screening enclosures are necessary to accommodate the installation of current and future mechanical equipment, including silencers to minimize noise and pollution control units to control odors. Since the equipment will not be under a solid roof, a noise assessment was prepared for the project by Mestre Greve Associates. In addition to the mechanical equipment system, the noise assessment analyzed the cumulative noise that may be generated from the project including the parking structure activity and outdoor dining activity. The results of the assessment verified that with the specific mechanical equipment with silencers, the noise generated will be in compliance with the City's noise standards (NBMC Section 10.26).

- C. To address the loss of the seven on-site parking spaces, when use permit applications are submitted for the future restaurant uses, they will be reviewed to ensure adequate parking is provided based on the proposed net public area.

SECTION 4. DECISION.

NOW, THEREFORE, BE IT RESOLVED:

1. Consistent with Condition Nos. 4 and 20 of City Council Resolution No. 2011-86, the Planning Commission of the City of Newport Beach hereby approves the final architectural and landscaping plans for the Mariner's Pointe project.
2. The Planning Commission finds the proposed revisions to the project design are in substantial conformance with the project approved by Site Development Review No. SR2010-001 and Use Permit No. UP2010-024.
3. This action shall become final and effective fourteen days after the adoption of this Resolution unless within such time an appeal is filed with the City Clerk in accordance with the provisions of Title 20 Planning and Zoning, of the Newport Beach Municipal Code.

PASSED, APPROVED AND ADOPTED THIS 7TH DAY OF JUNE, 2012.


AYES: Ameri, Hillgren, Kramer, and Tucker

NOES: Toerge

ABSTAIN: None

ABSENT: Brown and Myers

BY:


Micheal Toerge, Chairman

BY:


Fred Ameri, Secretary

Attachment No. PC 4

June 7, 2012 Planning Commission
Minutes

ITEM NO. 5 Mariner's Pointe (PA2010-114)
SITE LOCATION: 100 – 300 West Coast Highway

Community Development Director Brandt noted this is not a public hearing but rather is being presented in compliance with conditions of approval on the project. She stated that staff provided public notice to all property owners within 300 feet of the property so that they would have the opportunity to participate in the meeting.

Associate Planner Murillo presented details of the final architectural and landscaping plans for the Mariner's Pointe project which was approved by Council on August 9, 2011. The project is a two-story commercial building and a three-level parking structure on the corner of West Coast Highway and Dover Drive. He provided background information of the previously approved project and noted that the building and parking structures were designed to accommodate restaurant use, retail use and medical office use. He reported that when the Council approved the project, they noted that the project would help revitalize the Mariner's Mile corridor and would establish a new, higher standard of development for the area. He stated that to ensure the proposed architectural and landscape improvements were implemented in the final design, the Council added conditions of approval requiring the Planning Commission to review and approve the final building elevations and roof plan and landscaping improvements. Any substantial changes would also require Planning Commission review.

He noted the Commission has been provided with detailed architectural and landscaping plans as well as other information to assist with the review. He presented details of the overall design, enhanced architectural details and pointed out changes to the design. Mr. Murillo addressed revisions to the building elevation and parking structure, and increases in the height of the proposed towers. He reported on the expansion of the mechanical equipment enclosure over the commercial building and the addition of a new mechanical equipment enclosure over the parking structure. He addressed details of the roof plan, the need to increase the size of the equipment enclosures due to installation of pollution control units and ventilation fans and silencers, mechanical equipment screening, and a noise assessment that was prepared to ensure compliance with the City's noise standards. He addressed colors and materials for the project, and summarized revisions to the final landscape plan including the expansion of the water feature at the corner of the project and expansion of decorative paving. He presented recommendations as stated in the report and noted that a comment letter was received by staff which was distributed to the Commission.

Discussion followed regarding changes in the square footage of the retail components and in parking.

Mr. Murillo reported that the exact land-use mix is unknown and explained that parking requirements were based on a number of assumptions. He also noted that due to the need to add columns to support the increased weight of the roof, the number of spaces within the parking structure has been reduced to 143 parking spaces.

Interested parties were invited to address the Commission on this item.

Todd Stoutenborough, Stoutenborough Architects and Planners, felt the project presents a logical solution to a difficult site. He reported that many of the Commission's suggestions were incorporated into the final drawings and noted the project was well-received by Council. He addressed the elevation of the site and adjacent bluff, original approved concept plan, the commercial building and parking structure design, colors and materials, and design concept of achieving a village look for the project. Mr. Stoutenborough addressed details of changes to building elevations, entry to the parking garage, height of the parking garage, original and revised roof plan, requirement to ventilate the garage, pavers, enhancements in the proposed fountain, additional stone veneer, architectural colors and materials, and metal screens.

Mr. Stoutenborough addressed the function of the parking structure, handicap parking, land use assumptions, noise study and screening for the mechanical equipment.

Eva Verdault and Glen Verdault, property owners, presented a history of her family and addressed their family's ethics and pride. They felt that Mariner's Pointe will be a landmark to the City and bring continual renovation to the area. They addressed installation of underground utilities as well as the re-routing of sewer lines and assured the City, business owners and residents that they have done their utmost to ensure that every aspect of the project will be something loved by everyone.

Jim Mosher, Newport Beach, spoke in opposition of the project including the architectural design and access.

Hal Wagner, Attorney representing Cameron Merae, one of the owners residing on the bluff above the proposed project, presented a written statement to the Commission and addressed the previous denial of the project by the Planning Commission because of impacts to nearby residents and the size of the structure relative to the size of the land. He felt that the proposed changes continue to impact nearby residents including increases in the heights of the towers, the mechanical equipment area and a reduction in landscaping.

Vice Chair Hillgren inquired regarding the location of decreased landscaping and Mr. Murillo reported that the decorative hardscape and the proposed water feature are considered part of the landscaping plan. He noted that the general planting area has decreased while the decorative hardscape was expanded within the parking garage and on the side adjacent to Dover.

Commissioner Tucker noted that the landscaping meets the Mariner's Mile landscaping guidelines.

Mr. Wagner requested that the Commission deny the proposed changes to the approved plan.

Steven James commented on the size of the property and felt that the owners are proposing a building that is far superior to anything currently on Mariner's Mile. He spoke in support of the project noting that the changes only enhance what has already been presented.

Jack Geerling reported he lives on the bluff above the proposed project and expressed concerns regarding elimination of his view by the project. He noted previous denial of the project by the Planning Commission, reported that his neighbors have indicated opposition to the project and addressed the possibility of decreased property values.

Cameron Merae commented in opposition to the project and addressed the proposed mechanical equipment screening and related issues with noise and fumes.

Albert Hanna, Newport Beach, spoke in support of the project and urged the Commission to approve it.

There being no other speakers, Chair Toerge closed the public comments for this item.

Todd Stoutenborough reported working closely with nearby neighbors and stated there are no view impacts or smells in relation to the project. He noted careful attention has been given and addressed the heights of the structures.

Commissioner Tucker reported that the project has been approved by Council and that they imposed conditions on the Planning Commission to review elevations and the landscape plan. He inquired regarding vine pockets along the west elevation and the possibility of planting trees in place of the vines.

Mr. Stoutenborough explained the wall is a four-hour firewall between adjacent properties and that there is no room to plant trees in that area. In response to Commissioner Tucker's inquiry regarding maintenance of the silencer and odor scrubber, Mr. Stoutenborough stated he would agree with the addition of a condition addressing same.

He replied to additional questions from Commissioner Tucker regarding the type of tiles proposed for the roof, the smooth trowel stucco finish, the proposed window mullions and doors and the proposed stone veneer.

Community Development Director Brandt reported that the Planning Commission has been charged with the duty of reviewing and approving the exterior elevation and finishes for the building and that any future tenant wishing to change the approved exterior would require review by the Planning Commission.

Regarding the plaster, Mr. Murillo reported that the notes on the architectural plans match the style shown in the colors and materials board indicating a smooth-coat finish.

Commissioner Kramer addressed the increased height of the tower elements noting that it complies with maximum Code requirements. He noted that the landscaping fits within the Mariner's Mile specifications and commended the applicant for the project stating that it is fitting as an entrance to the area and sorely needed. He indicated he will vote in favor of the project.

Commissioner Ameri expressed concerns with the façade of the parking garage but indicated he will support the project.

Motion made by Vice Chair Hillgren and seconded by Commissioner Kramer.

Commissioner Tucker commended the applicant on the project and commented positively on it.

Chair Toerge inquired regarding the decrease in parking spaces, the specific location of the loss and the number of parking stalls in the original proposal that were off site.

Mr. Murillo presented a comparison between the approved and revised number of parking stalls.

Mr. Stoutenborough reiterated that many of the Planning Commission's suggestions were incorporated into the plan that was presented to the City Council.

Chair Toerge commended the applicant on the quality of material but expressed concerns regarding the amount of development on the site. The project modifications render the project's mass larger than that which was approved by the City Council and eliminates seven parking stalls, which represent 5 percent of the total parking provided. Chair Toerge stated that he would not be in support.

Motion carried (4 – 1), to adopt the draft resolution approving the final architectural and landscaping plans for the project, and find the changes in the design to be in substantial conformance with the project design approved by Site Development Review No. SR2010-001 and Conditional Use Permit No. UP2010-024.

AYES: Ameri, Hillgren, Kramer, and Tucker
NOES: Toerge
ABSTENTIONS: None
ABSENT (Excused): Brown and Myers

~~**ITEM NO. 6** Review of Preliminary Fiscal Year 2012-2013 Capital Improvement Program (PA2007-131)~~

~~This item was heard at the beginning of the agenda as requested by staff.~~

~~**I. STAFF AND COMMISSIONER ITEMS**~~

~~**ITEM NO. 7** Community Development Director's report.~~

Attachment No. PC 5

June 7, 2012 Colored Renderings of
Approved Architectural Plans



View along West Coast Highway

May 17, 2012

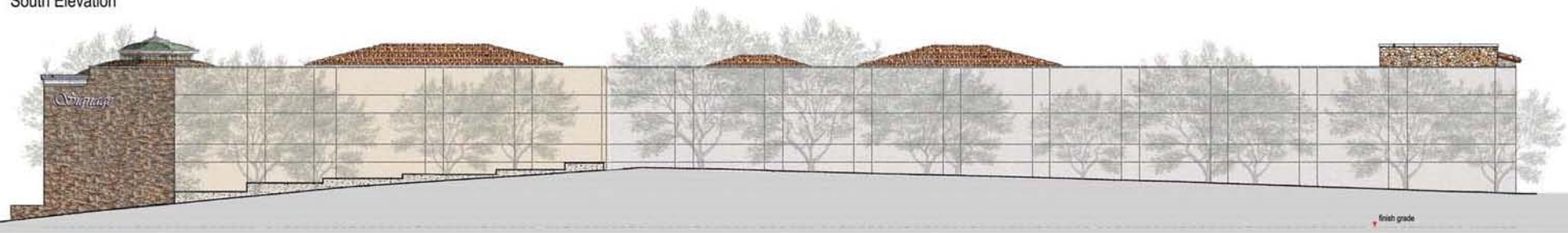
Mariner's Pointe

West Coast Highway at Dover
 Newport Beach, CA
 WINSTON'S JEWELERS c/o VBAS Properties, Inc
 18582 Beach Boulevard, Suite 226
 Huntington Beach, CA 92648

STOUTENBOROUGH INC
 Architects and Planners
 420 Alta Vista Way, Suite 100, Laguna Beach, Ca 92651
 T 949 715 3257 | F 949 715 3256 | www.stoutenboroughinc.com



South Elevation



North Elevation

May 17, 2012

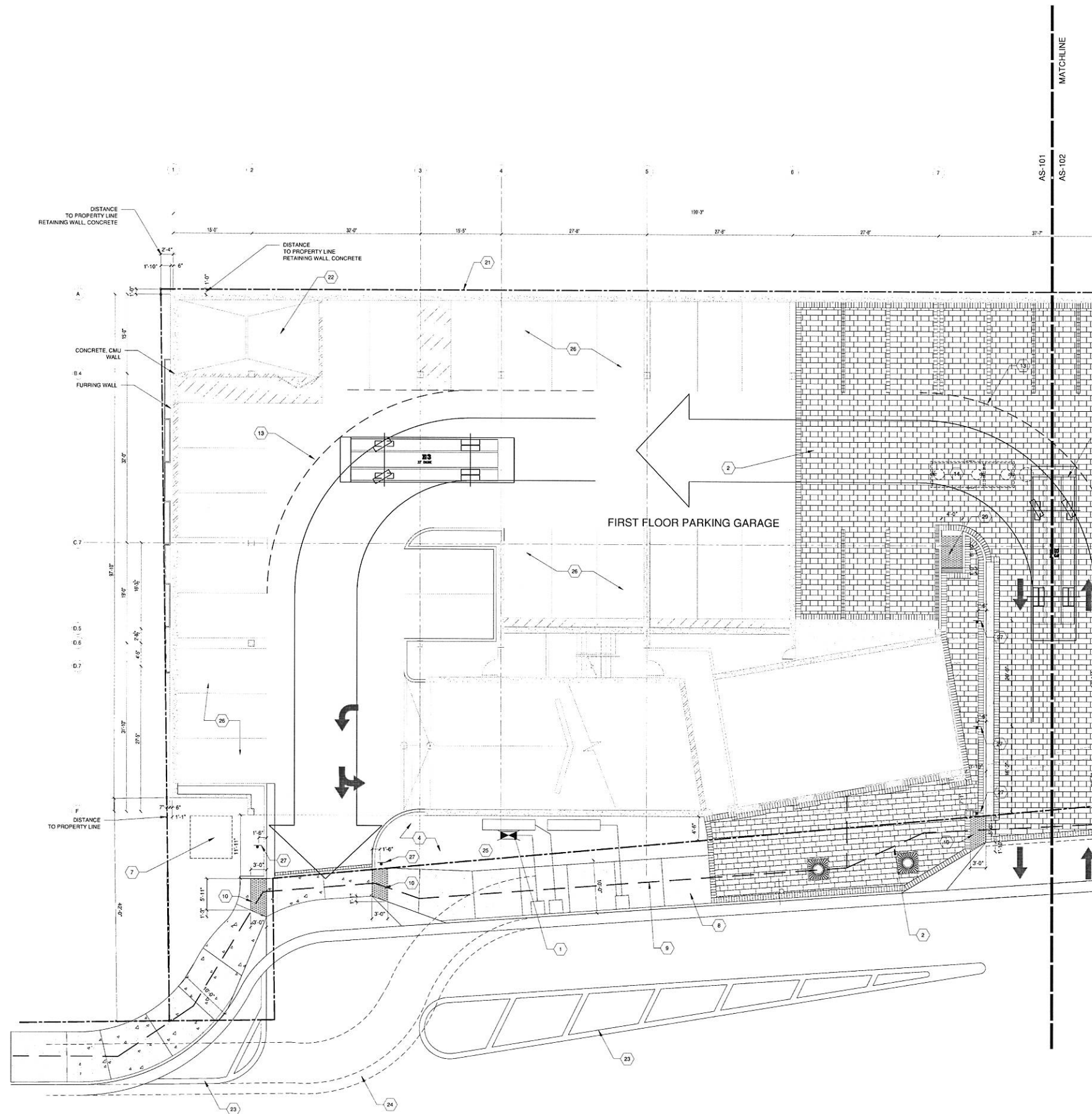
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Attachment No. PC 6

June 7, 2012 Final Approved
Architectural Plans (Affected Sheets)



ARCHITECTURAL SITE PLAN
1/8" = 1'-0"

SHEET KEYED NOTES

- 1 SITE UTILITIES ARE, SEE CIVIL AND LANDSCAPE DRAWINGS
- 2 DECORATIVE PAVERS, SEE LANDSCAPE DRAWINGS
- 3 WATER FEATURE, SEE LANDSCAPE DRAWINGS
- 4 PLANTING AREA, SEE LANDSCAPE DRAWINGS
- 5 LANDSCAPED AREA, SEE LANDSCAPE PLANS
- 6 GAS METERS
- 7 TRANSFORMER LOCATION, SEE ELECTRICAL DRAWINGS
- 8 NEW SIDEWALK, SEE CIVIL DRAWINGS
- 9 SITE ACCESSIBLE ROUTE
- 10 36" WIDE TRUNCATED DOMES, SEE AS-501 FOR SPECS
- 11 NOT USED
- 12 DECORATIVE CONCRETE BOLLARD, SEE DETAIL A1-A-503A
- 13 FIRE TRUCK TURNING RADIUS FOR APPROXIMATE 33 ENGINE
- 14 GREASE INTERCEPTOR, SEE CIVIL AND PLUMBING DRAWINGS. COORDINATE ACCESS COVERS WITH PAVEMENT INSTALLATION.
- 15 CONSTRUCT ACCESSIBLE PARKING PER C3-A-503A
- 16 ZERO CURB FACE CONDITION. PROVIDE TRUNCATED DOME PAVERS COMPLYING WITH CBC 1107 B.5.7 FOR 36" DEPTH FROM ZERO CURB. SEE AS-501 FOR SPECS. SEE LANDSCAPE DRAWINGS.
- 17 CONSTRUCT ACCESSIBLE CURB RAMP PER 16-GA-01 (SM.) SEE CIVIL FOR PRECISE GRADING.
- 18 PROPERTY LINE. VERIFY IN FIELD.
- 19 PROVIDE MIN. 17" X 22" SIGN WITH MIN. 1" LETTERING, STATING: "UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT IN ACCORDANCE WITH CALIFORNIA VEHICLE CODE. VIOLATORS WILL BE TOWED AT OWNERS EXPENSE. TOWED VEHICLES MAY BE RECLAIMED BY TELEPHONING THE NEWPORT BEACH POLICE DEPT. 949-644-3661. SEE DETAILS C3-A-53A-54A.
- 20 PROVIDE POST MOUNTED SIGN DISPLAYING INTERNATIONAL SYMBOL OF ACCESSIBILITY ROUTE. SEE DETAIL A1-A-501
- 21 ZERO PROPERTY LINE CONDITION ON NORTH SIDE OF PROJECT (SHOWING WALLS START AT PROPERTY LINE. SEE SHOWING PLANS SUBMITTED UNDER SEPARATE REVIEW. SEE ELEVATIONS AND SECTIONS FOR PROPERTY LINE LOCATION RELATIVE TO BUILDING.
- 22 VENTILATED TRASH ENCLOSURE WITH HOSE BIBBS AND DRAIN, SEE PLUMBING AND MECHANICAL DRAWINGS.
- 23 NEW STRIPING ALONG WEST COAST HIGHWAY - SEE CIVIL DRAWINGS
- 24 EXISTING CURB/GUTTER AND SIDEWALK TO BE REMOVED - SEE CIVIL DRAWINGS
- 25 SUBSURFACE DRAINAGE STRUCTURE - SEE CIVIL DRAWINGS
- 26 FOR TYPICAL PARKING STALL STRIPING, SEE A6-AS-501
- 27 FIRE LANE SIGNAGE, POST MOUNTED, SEE DETAIL A2-A-501
- 28 FIRE LANE SIGNAGE, WALL MOUNTED, SEE DETAIL A2-A-501. SIGN MOUNTED TO BUILDING FACING DIRECTION OF TRAFFIC TRAVEL NO MORE THAN 24" FROM CURB OR EDGE OF ROAD SURFACE.
- 29 CURB RAMP, SEE CIVIL DRAWINGS. SEE TRUNCATED DOMES, AS-501.

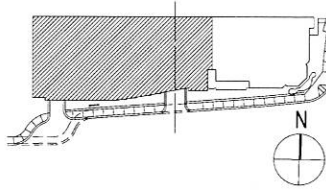
SITE PLAN LEGEND

- PROPERTY LINE
- SITE ACCESSIBLE ROUTE

SITE PLAN NOTES

1. EXISTING SITE WITH NO CHANGES SHOWN AS LIGHT SHADED LINE WORK.
2. GC TO VERIFY SITE AREAS OF DEMOLITION WITH OWNER AND CIVIL ENGINEER. REFERENCE EXISTING SURVEY AND CIVIL DRAWINGS.
3. SEE CIVIL DRAWINGS FOR GRADING, UTILITIES, DRAINAGE RELATED DETAILS.
4. SEE LANDSCAPE DRAWINGS FOR HARDSCAPE, PLANTING, IRRIGATION AND RELATED DETAILS.
5. SEE LIGHTING AND ELECTRICAL DRAWINGS FOR SITE LIGHTING.
6. PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGN AT ALL BUILDING/FUTURE SUITE ENTRANCES COMPLYING WITH 1107 B.5.2 AND 1107 B.5.3. SEE 11-GA-01 FOR TYPICAL PARKING STALL STRIPING. SEE A6-A-503A.

KEY PLAN



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MARINER'S POINTE

WEST COAST HIGHWAY AT DOVER
NEWPORT BEACH, CA



03-09-12	INITIAL AGENCY SUBMITTAL
06-04-12	AGENCY REVISION 1
07-20-12	BID SET

TITLE

ARCHITECTURAL SITE PLAN

DATE 07-20-12

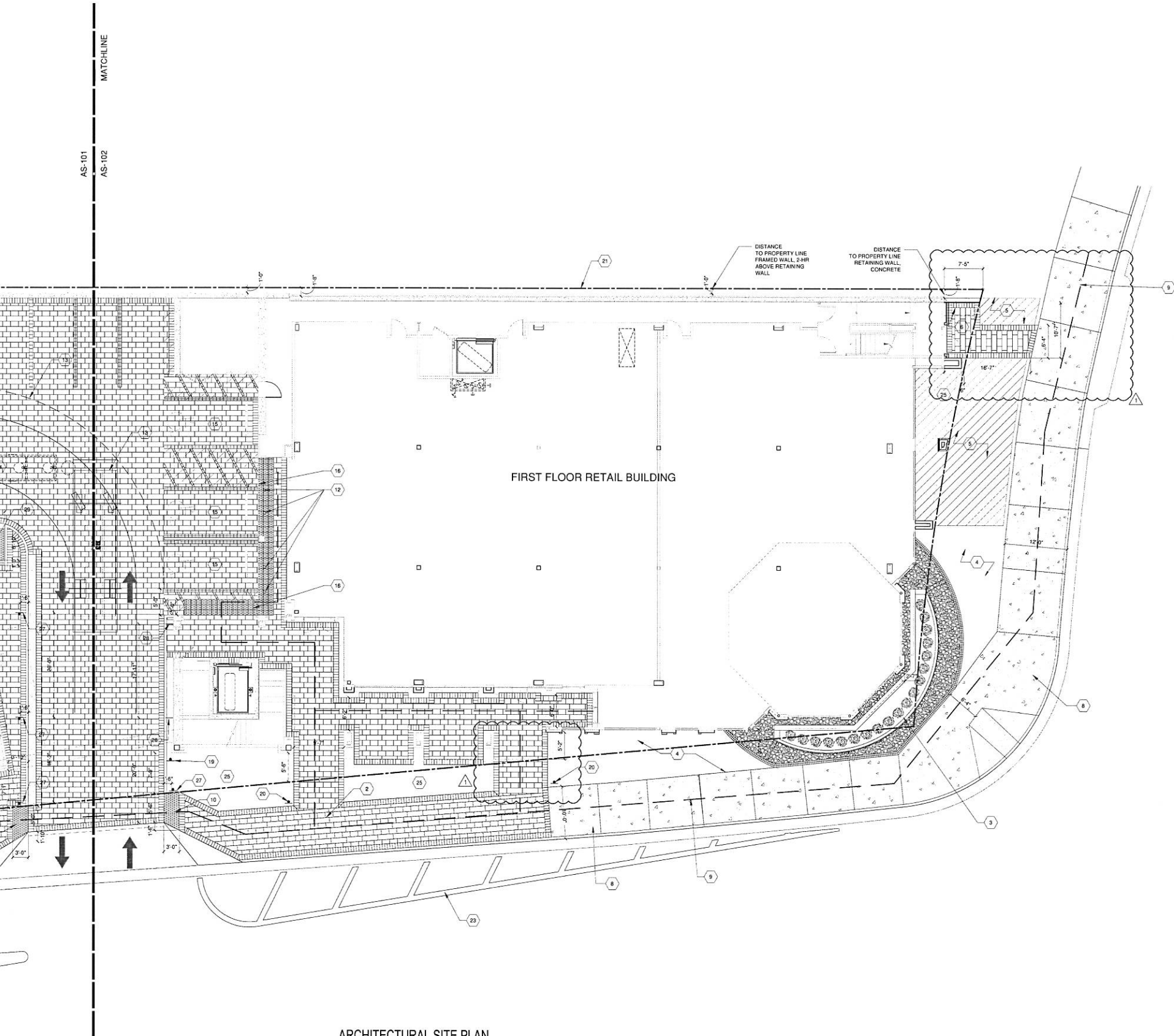
SCALE AS NOTED

PROJECT NO. 10112-005

APPROVED

SHEET

AS-101



ARCHITECTURAL SITE PLAN
1/8" = 1'-0"

SHEET KEYED NOTES

- 1 SITE UTILITIES ARE, SEE CIVIL AND LANDSCAPE DRAWINGS
- 2 DECORATIVE PAVERS, SEE LANDSCAPE DRAWINGS
- 3 WATER FEATURE, SEE LANDSCAPE DRAWINGS
- 4 PLANTING AREA, SEE LANDSCAPE DRAWINGS
- 5 LANDSCAPED AREA, SEE LANDSCAPE PLANS
- 6 GAS METERS
- 7 TRANSFORMER LOCATION, SEE ELECTRICAL DRAWINGS
- 8 NEW SIDEWALK, SEE CIVIL DRAWINGS
- 9 SITE ACCESSIBLE ROUTE
- 10 36" WIDE TRUNCATED DOMES, SEE AS-501 FOR SPECS
- 11 NOT USED
- 12 DECORATIVE CONCRETE BOLLARD, SEE DETAIL A11A-503A
- 13 FIRE TRUCK TURNING RADIUS FOR APPROXIMATE 33 ENGINE
- 14 GREASE INTERCEPTOR, SEE CIVIL AND PLUMBING DRAWINGS, COORDINATE ACCESS COVERS WITH FIVEK INSTALLATION
- 15 CONSTRUCT ACCESSIBLE PARKING PER C3A-503A
- 16 ZERO CURB FACE CONDITION. PROVIDE TRUNCATED DOME PAVERS COMPLYING WITH CBC 1107.8.5.7 FOR 36" DEPTH FROM ZERO CURB. SEE AS-501 FOR SPECS. SEE LANDSCAPE DRAWINGS.
- 17 CONSTRUCT ACCESSIBLE CURB RAMP PER 1E-GA01 (SM). SEE CIVIL FOR PRECISE GRADING.
- 18 PROPERTY LINE. VERIFY IN FIELD.
- 19 PROVIDE MIN. 17" X 22" SIGN WITH MIN. 1" LETTERING, STATING: "UNAUTHORIZED VEHICLES PARKED IN DESIGNATED ACCESSIBLE SPACES NOT DISPLAYING DESIGNATED PLACARDS OR LICENSE PLATES ISSUED FOR PERSONS WITH DISABILITIES MAY BE TOWED AWAY AT OWNERS EXPENSE. TOWED VEHICLES MAY BE RECLAIMED BY TELEPHONING THE NEWPORT BEACH POLICE DEPT. 949-644-3681 SEE DETAILS C3 & E3A-504A
- 20 PROVIDE POST MOUNTED SIGN DISPLAYING INTERNATIONAL SYMBOL OF ACCESSIBILITY ROUTE. SEE DETAIL A11-501
- 21 ZERO PROPERTY LINE CONDITION ON NORTH SIDE OF PROJECT (SHORING WALLS START AT PROPERTY LINE - SEE SHORING PLANS SUBMITTED UNDER SEPARATE REVIEW). SEE ELEVATIONS AND SECTIONS FOR PROPERTY LINE LOCATION RELATIVE TO BUILDING.
- 22 VENTILATED TRASH ENCLOSURE WITH HOSE BIBB AND DRAIN, SEE PLUMBING AND MECHANICAL DRAWINGS.
- 23 NEW STRIPING ALONG WEST COAST HIGHWAY - SEE CIVIL DRAWINGS
- 24 EXISTING CURB/GUTTER AND SIDEWALK TO BE REMOVED - SEE CIVIL DRAWINGS
- 25 SUBSURFACE DRAINAGE STRUCTURE - SEE CIVIL DRAWINGS
- 26 FOR TYPICAL PARKING STALL STRIPING, SEE AS-503A
- 27 FIRE LANE SIGNAGE, POST MOUNTED, SEE DETAIL A2: AS-501
- 28 FIRE LANE SIGNAGE, WALL MOUNTED, SEE DETAIL A2: AS-501. SIGN MOUNTED TO BUILDING FACING DIRECTION OF TRAFFIC TRAVEL NO MORE THAN 64" FROM CURB OR EDGE OF ROAD SURFACE.
- 29 CURB RAMP, SEE CIVIL DRAWINGS. SEE TRUNCATED DOMES, AS-501.

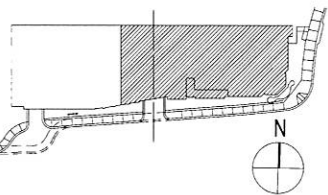
SITE PLAN LEGEND

- PROPERTY LINE
- SITE ACCESSIBLE ROUTE

SITE PLAN NOTES

- 1. EXISTING SITE WITH NO CHANGES SHOWN AS LIGHT SHADED LINE WORK.
- 2. GC TO VERIFY SITE AREAS OF DISCREPANCY WITH OWNER AND CIVIL ENGINEER. REFERENCE EXISTING SURVEY AND CIVIL DRAWINGS.
- 3. SEE CIVIL DRAWINGS FOR GRADING, UTILITIES, DRAINAGE RELATED DETAILS.
- 4. SEE LANDSCAPE DRAWINGS FOR HARDSCAPE, PLANTING, IRRIGATION AND RELATED DETAILS.
- 5. SEE LIGHTING AND ELECTRICAL DRAWINGS FOR SITE LIGHTING.
- 6. PROVIDE INTERNATIONAL SYMBOL OF ACCESSIBILITY SIGN AT ALL BUILDING/FUTURE SUITE ENTRANCES COMPLYING WITH 1107.8.5.1 AND 1107.8.1. SEE 1107.8.5.1 FOR TYPICAL PARKING STALL STRIPING. SEE AS-503A

KEY PLAN



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03-09-12	INITIAL AGENCY SUBMITTAL
06-04-12	AGENCY REVISION 1
07-20-12	BID SET

TITLE

ARCHITECTURAL SITE PLAN

DATE 07-20-12

SCALE AS NOTED

PROJECT NO. 10112-005

APPROVED

SHEET

AS-102

SHEET KEYED NOTES

- SEE ENLARGED PLAN FOR CRITICAL DETAIL AT SEISMIC JOINT COVER THIS LOCATION
- WALL/FLOOR PENETRATIONS - SEE MECHANICAL DRAWINGS
- WALL FURRING, SEE ELEVATIONS AND WALL SECTIONS
- HOSE BIB, SEE PLUMBING DRAWINGS
- EXTENT OF PAVEMENT SYSTEM, SEE SITE PLAN, STRUCTURAL AND LANDSCAPE DRAWINGS
- CMU BLOCKED OPENING THIS SECTION OF WALL SEE STRUCTURAL DRAWINGS
- NOT USED
- DIRECTIONAL ARROWS - DETAIL C1/A-503A
- 12" BLOCK WALL, SEE STRUCTURAL, PROVIDE INTERIOR FURRING AND 5/8" GYP BD
- ROLL DOWN 1-HR RATED FIRE DOORS, SEE ENLARGED PLANS

SHEET KEYED NOTES

- PROVIDE 6" X 6" INTERNATIONAL SYMBOL OF ACCESSIBILITY AT THE MAIN ENTRY DOORS. THE SYMBOL SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND EQUAL TO COLOR NO. 15550 IN FEDERAL STANDARD 595B. SEE EXTERIOR ELEVATIONS FOR LOCATION
- PHASE I EMERGENCY RECALL OPERATION AND PHASE II EMERGENCY IN-CAR OPERATION IS REQUIRED FOR ALL ELEVATORS
- PROVIDE A KEY BOX ENTRY SYSTEM (KNOX BOX) AND TAMPER SWITCH MOUNTED TO EXTERIOR WALL, RIGHT SIDE OF THE MAIN ENTRY DOOR, 6 FEET AFD. LOCATE AS INDICATED PER PLANS. KEYS SHALL BE PROVIDED FOR ALL EXTERIOR DOORS, FIRE PROTECTION EQUIPMENT CONTROL ROOMS, MECHANICAL AND ELECTRICAL ROOMS, ELEVATOR CONTROLS AND EQUIPMENT SPACES, ETC.

WALL TYPE GRAPHICS

- 1-HR MIN. RATED WALL INDICATOR: WIDTH OF LINE VARIES PER WALL THICKNESS. SEE ARCHITECTURAL WALL TAG FOR WALL TYPE, ASSEMBLY AND DETAILS. 1-HR RATED FIRE BARRIERS TO EXTEND TO UNDERSIDE OF DECK ABOVE.
- 2-HR RATED WALL INDICATOR: WIDTH OF LINE VARIES PER WALL THICKNESS. SEE ARCHITECTURAL WALL TAG FOR WALL TYPE, ASSEMBLY AND DETAILS. 2-HR RATED FIRE BARRIERS TO EXTEND TO UNDERSIDE OF DECK ABOVE.
- NON-RATED WALL: WIDTH OF LINE VARIES PER WALL THICKNESS. SEE ARCHITECTURAL WALL TAG FOR WALL TYPE, ASSEMBLY AND DETAILS. SEE STRUCTURAL DRAWINGS FOR FINISH SIZE AND SHEATHING THICKNESS. SEE 6/20/15 ELEVATIONS FOR FINISH.
- CMU WALL: MARKED AND NON-MARKED AS INDICATED WITH MATERIAL LINE ABOVE. SEE ARCHITECTURAL WALL TAG FOR WALL TYPE, ASSEMBLY AND DETAILS. SEE STRUCTURAL DRAWINGS FOR FINISH SIZE AND SHEATHING THICKNESS. SEE 6/20/15 ELEVATIONS FOR FINISH.
- CONCRETE WALL: SEE ARCHITECTURAL WALL TAG FOR WALL TYPE, ASSEMBLY AND DETAILS. SEE STRUCTURAL DRAWINGS FOR FINISH SIZE AND SHEATHING THICKNESS.

WALL TYPE TAGS

- WALL TYPE (A1, B1, etc.) - SEE TYPES BELOW
- S = ACUSTIC/INSULATED WALL INDICATES ADDITION OF SOUND BLANKETS OR INSULATION PER SPECIFICATIONS
- MEMBER SIZES (SEE WALL TYPE DETAIL FOR SPACING)
- 1 = 1-1/2" - 1-5/8" STUD OR FURRING
- 2 = 2" FURRING OR 2-1/2" STUD
- 3 = 3-5/8" STEEL STUD / 3-1/2" WOOD STUD
- 6 = 6" STEEL STUD / 5-1/2" WOOD STUD
- CMU IS NOMINAL 8" FOR CONCRETE WALLS REFER TO STRUCTURAL DRAWINGS THICKNESS.

1-HR MIN. RATED WALLS

SEE WALL TAG AND STRUCTURAL DRAWINGS FOR MEMBER SIZE AND SPACING. SEE DETAILS FOR ASSEMBLY AND JOINTS.

TYPE	DESCRIPTION	DESIGN	DETAILS	ASSEMBLY	JOINTS	MISC.
A1	FIRE BARRIER, STEEL STUDS, TYPE "X" GYP. BD. TO UNDERSIDE OF DECK	UL U465	A6/A-511	C1/A-517	-	-
A2	FIRE BARRIER, WOOD STUDS, TYPE "X" GYP. BD. TO UNDERSIDE OF DECK	UL U305	C6/A-511	A5/A-517	-	-
A3	FIRE BARRIER, WOOD STUDS, TYPE "X" GYP. BD. SHEATHING, CEMENT PLASTER	UL U356	E5/A-511	A3/A-517	-	-
A4	FIRE BARRIER, WOOD STUDS, TYPE "X" GYP. BD. BALLOON FRAMING ABOVE ROOF DECK	UL U305	E5/A-511	A3/A-517	-	-
A5	FIRE BARRIER, 8" CMU TO UNDERSIDE OF DECK	UL U905 (2HR)	E5/A-511	A3/A-517	-	-
A6	FIRE BARRIER, STEEL STUDS, TYPE "X" GYP. BD. TO UNDERSIDE OF DECK	UL U436	A5/A-519	C1/A-517	-	-

2-HR RATED WALLS

SEE WALL TAG AND STRUCTURAL DRAWINGS FOR MEMBER SIZE AND SPACING. SEE DETAILS FOR ASSEMBLY AND JOINTS.

TYPE	DESCRIPTION	DESIGN	DETAILS	ASSEMBLY	JOINTS	MISC.
B1	WOOD STUDS, TYPE "X" GYP. BD. DENSGLASS W/ CEMENT PLASTER	UL U371	C5/A-511	-	-	-
B2	STRUCTURAL CONCRETE SEE STRUCTURAL DWGS.	CBC TABLE 720.1(b) 4-1.1	D4/A-511	SEE STRUCT DWGS.	-	-
B3	CONCRETE MASONRY UNITS (CMU) SEE STRUCTURAL DWGS.	UL U905 (2HR)	E5/A-511	A3/A-517	-	-

NON-RATED WALLS

SEE WALL TAG AND STRUCTURAL DRAWINGS FOR MEMBER SIZE AND SPACING. SEE DETAILS FOR ASSEMBLY AND JOINTS.

TYPE	DESCRIPTION
N1	WOOD STUDS AND SHEATHING PER STRUCTURAL DRAWINGS, 5/8" GYP. BD. INTERIOR, EXTERIOR FINISH PER ELEVATIONS. INSULATION WHERE INDICATED
N2	STEEL STUDS WITH 1" MIN DEFLECTION TRACK. SIZE PER WALL TAG. 5/8" GYP. BD. E.F. INSULATION WHERE INDICATED
N3	NOMINAL 8" CMU WALL, NON-RATED. PROVIDE MINIMUM 1" DEFLECTION AT WALL HEAD. SEE STRUCTURAL DRAWINGS FOR CMU SPECIFICATIONS.

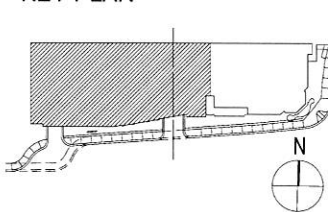
WALL TYPE NOTES:

- ALL RATED WALL PENETRATIONS SHALL COMPLY WITH CBC SECTION 717. SEE FLOOR AND WALL PENETRATIONS SCHEDULE C2/A-511 AND PENETRATION DETAILS SHEETS A-531 TO A-537. REFER TO MPE DRAWINGS FOR SIZE AND LOCATIONS OF ALL PENETRATIONS.
- ALL WALL ASSEMBLIES SHALL BE EFFECTIVELY FIRE-LOCKED AND DRAFT-STOPPED PER CBC SECTION 717.
- FIRE BARRIERS AS PART OF AN EXIT PASSAGEWAY, SHAFT, ENCLOSURE OR AS INDICATED ON PLANS SHALL EXTEND FROM THE DECK OR SLAB TO THE UNDERSIDE OF THE DECK OR SLAB ABOVE PER CBC SECTION 706.
- RATED WALLS (FIRE PARTITIONS) THAT ARE NOT PART OF THOSE ASSEMBLIES INDICATED IN NOTE #3 ABOVE MAY TERMINATE AT THE RATED HORIZONTAL ASSEMBLY PER CBC SECTION 706. THIS DOES NOT APPLY TO STRUCTURAL COLUMNS AS THEY WILL BE CONTINUOUSLY PROTECTED FROM FLOOR TO THE DECK ABOVE. SEE DETAILS SHEET A-511 TO A-515 FOR RATED VERTICAL AND HORIZONTAL ASSEMBLIES AND COLUMN BEAM PROTECTIONS.
- MAY SUBSTITUTE 5/8" DENSGLASS FIREGUARD SHEATHING FOR GYP. BD. IN RATED ASSEMBLIES.

FLOOR PLAN NOTES

- SEE A-400 SERIES SHEETS FOR LARGE-SCALE PLANS
- SEE ARCHITECTURAL SITE DRAWINGS FOR SPECIAL PAVING
- REFER TO CIVIL DRAWINGS FOR SLAB AND FINISH FLOOR ELEVATIONS
- COLUMN AND BEAM 1-HR PROTECTION, SEE DETAILS AS INDICATED ON PLANS
- SEE ARCHITECTURAL SITE AND LANDSCAPE DRAWINGS. COORDINATE WITH CIVIL DRAWINGS AND THESE PLANS.

KEY PLAN



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- 03-09-12 INITIAL AGENCY SUBMITTAL
- 06-04-12 AGENCY REVISION 1
- 07-20-12 BID SET
- 08-01-12 AGENCY REVISION 2

TITLE
GARAGE FIRST LEVEL

DATE 07-20-12
SCALE AS NOTED
PROJECT NO. 10112-005
APPROVED
SHEET

A-101A

SHEET KEYED NOTES

- CRIPPLE WALL AS REQ'D FOR ROOF FRAMING. SEE STRUCTURAL DRAWINGS AND ARCHITECTURAL SECTIONS.
- NOT USED
- RAFTER BEARS ON WOOD PLATE OVER FLAT SLAB. SEE STRUCTURAL DRAWINGS AND SECTIONS.
- ELEVATOR OVERRUN DASHED BELOW
- CLASS A ROOF COVERING SYSTEM (UL 790); JOHNS MANVILLE SINGLE PLY TPO 60 ML, 0.25 LBS/SF, 25 YEAR, MECHANICALLY FASTENED OVER INVISIA ROOF BOARD, COLOR TAN, TITLE 24 COMPLIANT MEETING COOL ROOF STANDARDS FOR ENERGY EFFICIENCY. *INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MFRS SPECIFICATIONS.*
- ROOF ACCESS HATCH, 1-HR RATED, SEE TYPICAL DETAIL A5-512

SHEET KEYED NOTES

- SLAB OPENING FOR DUCT PENETRATION, SEE MECHANICAL AND STRUCTURAL DRAWINGS
- FLAT STRUCTURAL CONCRETE ROOF WITH BUILT UP ROOF BOARD TO ACHIEVE INDICATED SLOPE
- 12" WIDE CONT. SEISMIC SEPARATION. SEE DETAILS AND SECTIONS, A-310 TO A-311 AND DETAIL C5A-513
- PARAPET LADDER WITH PLATFORM, 42" HIGH GUARD RAILS EACH SIDE TYPICAL
- WALL DOES NOT TOUCH ROOF DECK, OVERFLOW UNDERNEATH
- CRICKETS AS REQUIRED TO ACHIEVE ROOF SLOPE AS INDICATED. USE MFRS RECOMMENDED MATERIAL AND SPECIFICATION FOR ROOFING SYSTEM AS INDICATED
- NOT USED
- NOT USED

SHEET KEYED NOTES

- NOT USED
- CLASS A ROOF, TILE ROOFING, PER CBC 1505.2
- ROOF DRAIN AND OVERFLOW TYPICAL. SEE DETAIL A1(M)A-515 AND PLUMBING DRAWINGS
- PRECAST WALL CAP, SEE SECTION
- TYPICAL EQUIPMENT SCREENING PANELS: GRATING TO BE TYPE A-18-4 WITH 2" X 1/8" BEARING BARS SPACED AT 1-3/16" ON CENTER, AND SWAGED CROSS BARS SPACED AT 4" ON CENTER AS PRODUCED BY GRATING PACIFIC, INC., LOS ANGELES, CA, ALUMINUM ALLOY 6063 T6 IS TO BE USED IN THE MANUFACTURE OF THE GRATING, AS PER ASTM B221.

WALL TYPE GRAPHICS

- 1-HR MIN. RATED WALL INDICATOR: WIDTH OF ONE UNITS PER WALL THICKNESS. SEE ARCHITECTURAL WALL TAG FOR WALL TYPE, SEE STRUCTURAL DRAWINGS FOR MEMBER SIZE AND SHEATHING. INDICATES ADDITION OF SOUND BLANKETS OR INSULATION PER SPECIFICATIONS.
- 2-HR RATED WALL INDICATOR: WIDTH OF TWO UNITS PER WALL THICKNESS. SEE ARCHITECTURAL WALL TAG FOR WALL TYPE, SEE STRUCTURAL DRAWINGS FOR MEMBER SIZE AND SHEATHING. INDICATES ADDITION OF SOUND BLANKETS OR INSULATION PER SPECIFICATIONS.
- NON-RATED WALL: WIDTH OF ONE UNITS PER WALL THICKNESS. SEE ARCHITECTURAL WALL TAG FOR WALL TYPE, SEE STRUCTURAL DRAWINGS FOR MEMBER SIZE AND SHEATHING. INDICATES ADDITION OF SOUND BLANKETS OR INSULATION PER SPECIFICATIONS.
- CMU WALL: RATED AND NON-RATED AS INDICATED WITH RATING LINE ABOVE. SEE ARCHITECTURAL WALL TAG FOR WALL TYPE, SEE STRUCTURAL DRAWINGS FOR MEMBER SIZE AND SHEATHING. INDICATES ADDITION OF SOUND BLANKETS OR INSULATION PER SPECIFICATIONS.
- CONCRETE WALL: SEE ARCHITECTURAL WALL TAG FOR WALL TYPE, ASSEMBLY AND DETAIL. SEE STRUCTURAL DRAWINGS FOR MEMBER SIZE AND SHEATHING.

WALL TYPE TAGS

- WALL TYPE (A1, B1, etc.) - SEE TYPES BELOW
- 5" - ACoustIC INSULATED WALL
- INDICATES ADDITION OF SOUND BLANKETS OR INSULATION PER SPECIFICATIONS
- MEMBER SIZES (SEE WALL TYPE DETAIL FOR SPACING)
- 1 = 1-1/2" - 1-5/8" STUD OR FURRING
- 2 = 2" FURRING OR 2-1/2" STUD
- 3 = 3-5/8" STEEL STUD / 3-1/2" WOOD STUD
- 6 = 6" STEEL STUD / 5-1/2" WOOD STUD
- CMU IS NOMINAL 8" FOR CONCRETE WALLS REFER TO STRUCTURAL DRAWINGS THICKNESS.

1-HR MIN. RATED WALLS

SEE WALL TAG AND STRUCTURAL DRAWINGS FOR MEMBER SIZE AND SPACING. SEE DETAILS FOR ASSEMBLY AND JOINTS.

TYPE	DESCRIPTION	DESIGN	DETAILS	ASSEMBLY	JOINTS	MISC.
A1	FIRE BARRIER, STEEL STUDS, TYPE "X" GYP. BD. TO UNDERSIDE OF DECK	UL U465	A6/A-511	C1/A-517	-	-
A2	FIRE BARRIER, WOOD STUDS, TYPE "X" GYP. BD. TO UNDERSIDE OF DECK	UL U305	C6/A-511	A5/A-517	-	-
A3	FIRE BARRIER, WOOD STUDS, TYPE "X" GYP. BD. SHEATHING, CEMENT PLASTER	UL U356	E5/A-511	A3/A-517	-	-
A4	FIRE BARRIER, WOOD STUDS, TYPE "X" GYP. BD. BALLOON FRAMING ABOVE ROOF DECK	UL U305	E5/A-511	A3/A-517	-	-
A5	FIRE BARRIER, 8" CMU TO UNDERSIDE OF DECK	UL U505 (2HR)	E5/A-511	A3/A-517	-	-
A6	FIRE BARRIER, STEEL STUDS, TYPE "X" GYP. BD. TO UNDERSIDE OF DECK	UL U436	A5/A-515	C1/A-517	-	-

2-HR RATED WALLS

SEE WALL TAG AND STRUCTURAL DRAWINGS FOR MEMBER SIZE AND SPACING. SEE DETAILS FOR ASSEMBLY AND JOINTS.

TYPE	DESCRIPTION	DESIGN	DETAILS	ASSEMBLY	JOINTS	MISC.
B1	WOOD STUDS, TYPE "X" GYP. BD. DENGLASS W/ CEMENT PLASTER	UL U371	C5/A-511	-	-	-
B2	STRUCTURAL CONCRETE SEE STRUCTURAL DWGS.	CBC TABLE 703.1.03 4.1.1	D4/A-511	SEE STRUCT DWGS.	-	-
B3	CONCRETE MASONRY UNITS CMU SEE STRUCTURAL DWGS.	UL U505 (2HR)	E5/A-511	A3/A-517	-	-

NON-RATED WALLS

SEE WALL TAG AND STRUCTURAL DRAWINGS FOR MEMBER SIZE AND SPACING. SEE DETAILS FOR ASSEMBLY AND JOINTS.

TYPE	DESCRIPTION
N1	WOOD STUDS AND SHEATHING PER STRUCTURAL DRAWINGS, 5/8" GYP. BD. INTERIOR, EXTERIOR FINISH PER ELEVATIONS. INSULATION WHERE INDICATED
N2	STEEL STUDS WITH 1" MIN DEFLECTION TRACK, SIZE PER WALL TAG. 5/8" GYP. BD. E.F. INSULATION WHERE INDICATED
N3	NOMINAL 8" CMU WALL, NON-RATED. PROVIDE MINIMUM 1" DEFLECTION AT WALL HEAD. SEE STRUCTURAL DRAWINGS FOR CMU SPECIFICATIONS.

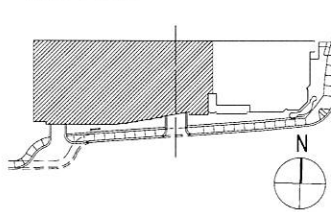
WALL TYPE NOTES:

- ALL RATED WALL PENETRATIONS SHALL COMPLY WITH CBC SECTION 717. SEE FLOOR AND WALL PENETRATIONS SCHEDULE C1/A-511 AND PENETRATION DETAILS SHEETS A-531 TO A-537. REFER TO MPE DRAWINGS FOR SIZE AND LOCATIONS OF ALL PENETRATIONS.
- ALL WALL ASSEMBLIES SHALL BE EFFECTIVELY FIRE-LOCKED AND DRAFT STOPPED PER CBC SECTION 717.
- FIRE BARRIERS AS PART OF AN EXIT PASSAGEWAY, SHANT, ENCLOSURE OR AS INDICATED ON PLANS SHALL EXTEND FROM THE DECK OR SLAB TO THE UNDERSIDE OF THE DECK OR SLAB ABOVE PER CBC SECTION 706.
- RATED WALLS (FIRE PARTITIONS) THAT ARE NOT PART OF THOSE ASSEMBLIES INDICATED IN NOTE #3 ABOVE MAY TERMINATE AT THE RATED HORIZONTAL ASSEMBLY PER CBC SECTION 706. THIS DOES NOT APPLY TO STRUCTURAL COLUMNS AS THEY WILL BE CONTINUOUSLY PROTECTED FROM FLOOR TO THE DECK ABOVE.
- SEE DETAILS SHEET A-511 TO A-513 FOR RATED VERTICAL AND HORIZONTAL ASSEMBLIES AND COLUMN BEAM PROTECTIONS.
- MAY SUBSTITUTE 5/8" DENGLASS FIREGUARD SHEATHING FOR GYP. BD. IN RATED ASSEMBLIES.

FLOOR PLAN NOTES

- SEE A-400 SERIES SHEETS FOR LARGE-SCALE PLANS
- SEE ARCHITECTURAL SITE DRAWINGS FOR SPECIAL PAVING
- REFER TO CIVIL DRAWINGS FOR SLAB AND FINISH FLOOR ELEVATIONS
- COLUMN AND BEAM 1-HR PROTECTION, SEE DETAILS AS INDICATED ON PLANS
- SEE ARCHITECTURAL SITE AND LANDSCAPE DRAWINGS, COORDINATE WITH CIVIL DRAWINGS AND THESE PLANS.

KEY PLAN



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- 03-09-12 INITIAL AGENCY SUBMITTAL
- 06-04-12 AGENCY REVISION 1
- 07-20-12 BID SET
- 08-01-12 AGENCY REVISION 2

TITLE

GARAGE ROOF

DATE 07-20-12

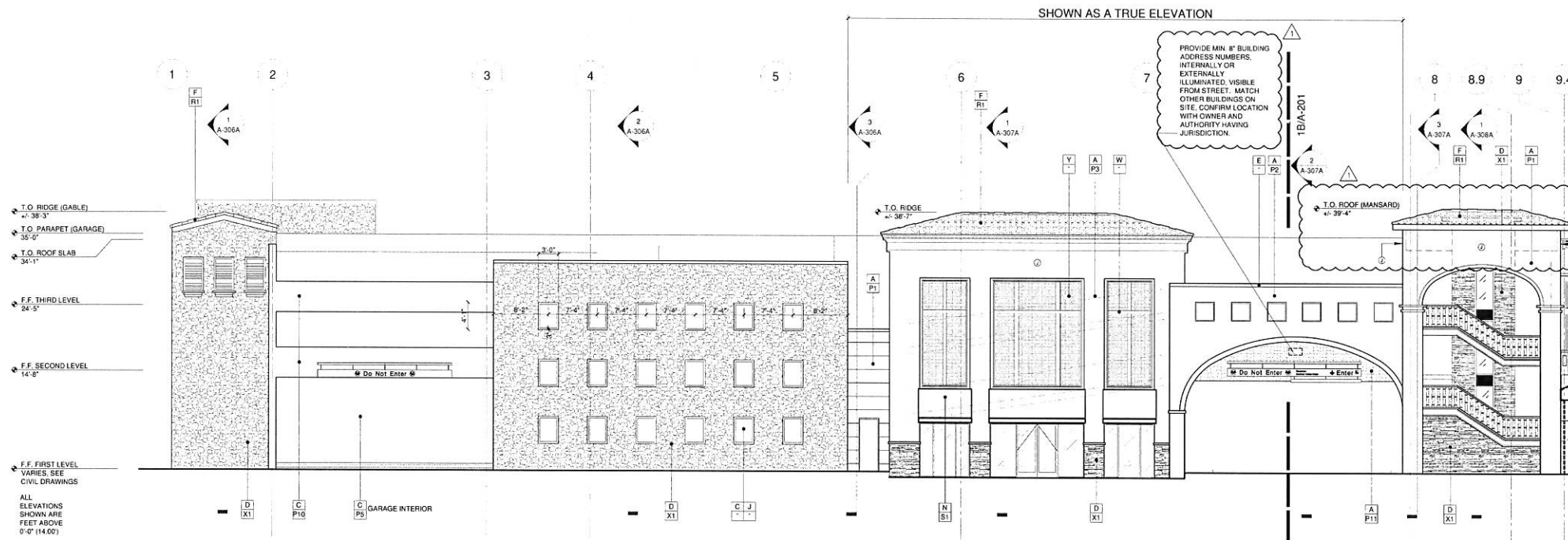
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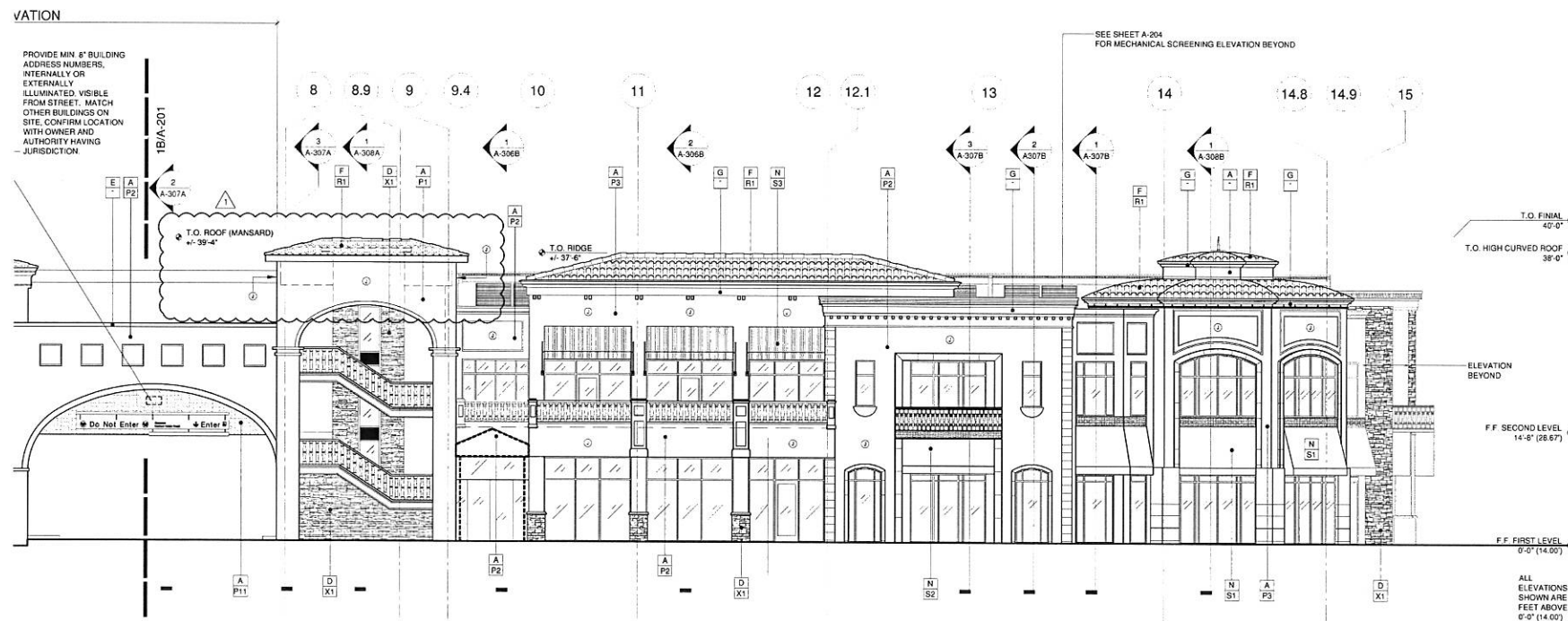
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A-104A



1A EXTERIOR ELEVATION - GARAGE SOUTH
1/8" = 1'-0"



1B EXTERIOR ELEVATION - RETAIL SOUTH
1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE MATERIAL / ITEM

- A EXTERIOR CEMENT PLASTER - OMEGA COLORTEK SMOOTH-COAT FINISH
- B EXTERIOR CEMENT PLASTER - OMEGA COLORTEK LIGHT DASH FINISH
- C PAINTED CONCRETE
- D STONE VENEER
- E PRE-CAST CONCRETE - CAP, SURROUND, ETC. SEE DETAIL AS INDICATED
- F CLAY ROOF TILE - 2 PIECE MISSION CLAY TILES, BORAL ROOFING
- G GFRG - MOLDING, PIER, ENTABLATURE, CORNICE, PANEL, BALUSTRADE, ETC. SEE SECTIONS AND DETAILS
- H ALUMINUM STOREFRONT SYSTEM / WINDOW
- J DECORATIVE METAL - SEE DETAILS AS INDICATED
- K DECORATIVE PERGOLA / TRELLIS - SEE DETAILS AS INDICATED
- L DECORATIVE LIGHT FIXTURE
- M DECORATIVE CONTROL JOINT - SEE DETAILS AS INDICATED
- N FABRIC AWNING - BY OTHERS, GC TO PROVIDE SUPPORTS
- P DOOR(S) PER SCHEDULE
- R PRE-FINISHED METAL COPING / TRIM / FASCIA
- S NOT USED
- T WOOD - FRAMING, MOLDING, TRIM, FASCIA ETC. SEE DETAILS AND SECTIONS.
- W EPS MOLDING, TRIM WITH SMOOTH FINISH CEMENT PLASTER. SEE DETAILS AND SECTIONS.
- X METAL LOUVER(S) SEE DETAILS AND SECTIONS.
- Y GREEN GLASS (DOUBLE PANE) MYLAR IN-BETWEEN W/ METAL GRILL AND BACK LIGHT. SEE DETAILS
- Z TPO ROOFING PER SPECS AND PLAN. COLOR TAN

COLOR / FINISH

- P1 PLASTER COLOR: 56 PEARL GREY
- P2 PLASTER COLOR: 15 BIRCH WHITE
- P3 PLASTER COLOR: 432 MILKY QUARTZ
- P4 PAINT COLOR: VISTA PAINT OW 157
- P5 PAINT COLOR: VISTA PAINT OW 158
- P6 PAINT COLOR: VISTA PAINT OW 159
- P7 PAINT COLOR: VISTA PAINT OW 160
- P8 PAINT COLOR: VISTA PAINT 8555 TENDER TAN
- P9 PAINT COLOR: VISTA PAINT 8554 HERITAGE HILL
- P10 PAINT COLOR: VISTA PAINT 8552 SWISS CREAM
- P11 PAINT COLOR: VISTA PAINT 8550 DIG IT
- M1 ALUMINUM COLOR: ARCADIA STANDARD COLOR BRONZE
- M2 PPG CAP: UC106718XL DURANAR XL COPPER CANYON
- R1 BORAL ROOFING: CRRC ID# 0906-0027 RUSTIC CARMEL
- S1 ABBOTT INDUSTRIES: CANVAS, RED #4699: SEE NOTE #1
- S2 ABBOTT INDUSTRIES: CANVAS, GREEN #4671: SEE NOTE #1
- S3 ABBOTT INDUSTRIES: CANVAS, STRIPED #4969: SEE NOTE #1 (COORDINATING)
- X1 HARVEST ALTURA MIX - RANDOM SPLIT NATURAL STONE, 1-1/4" THICK (+/- 1/2") MAX SIZE 10" X 18" STONES. 15 lbs/sq WEIGHT. ADHERE OVER LATHE AND TYPE 'S' MORTAR

EXTERIOR ELEVATION NOTES

- EXTERIOR CANOPY MATERIAL, CANOPIES SHALL BE CONSTRUCTED OF A RIGID FRAMEWORK WITH AN APPROVED COVERING THAT MEETS THE FIRE PROPAGATION PERFORMANCE CRITERIA OF NFPA 701 OR HAS A FLAME SPREAD INDEX NOT GREATER THAN 25 WHEN TESTED IN ACCORDANCE WITH ASTM E 84 OR UL 723. PROVIDE A CERTIFICATE FROM THE MANUFACTURER OF THE AWNINGS SHOWING THAT THE FLAME SPREAD RATING COMPLIES WITH C.B.C. 3105.4
- HW DOORS AND FRAMES TO MATCH COLOR OF ADJACENT WALL SURFACE, U.N.O.
- EXTERIOR FINISHES SHOWN CAN BE ASSUMED TO WRAP AROUND ELEMENT INDICATED ON SIDES AND OPPOSITE SIDE UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL VERIFY ALL EXTERIOR MATERIALS, COLORS, AND FINISHES WITH THE ARCHITECT. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
- COLORS SHALL BE SELECTED BY THE ARCHITECT FROM MFRS. STANDARD COLORS. FINISHES ARE ALSO REQUIRED AT PORTIONS OF INSIDE FACE OF PARAPETS EXPOSED TO PUBLIC VIEW. J BOX FOR EXTERIOR SIGNAGE. SEE ELECTRICAL DRAWINGS.

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03-09-12	INITIAL AGENCY SUBMITTAL
06-04-12	AGENCY REVISION 1
07-20-12	BID SET

TITLE

EXTERIOR ELEVATIONS

DATE 07-20-12

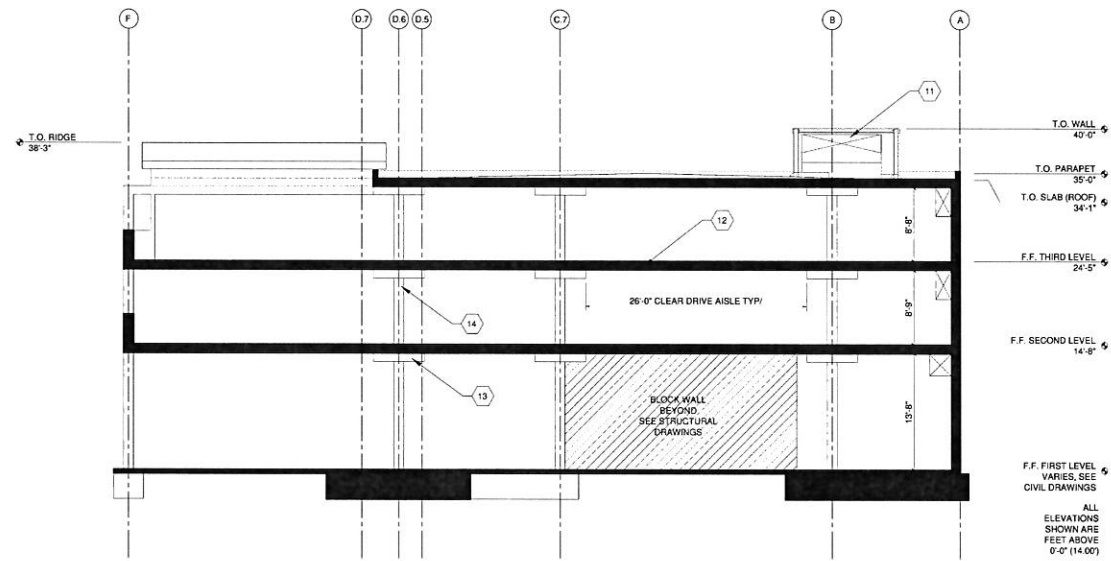
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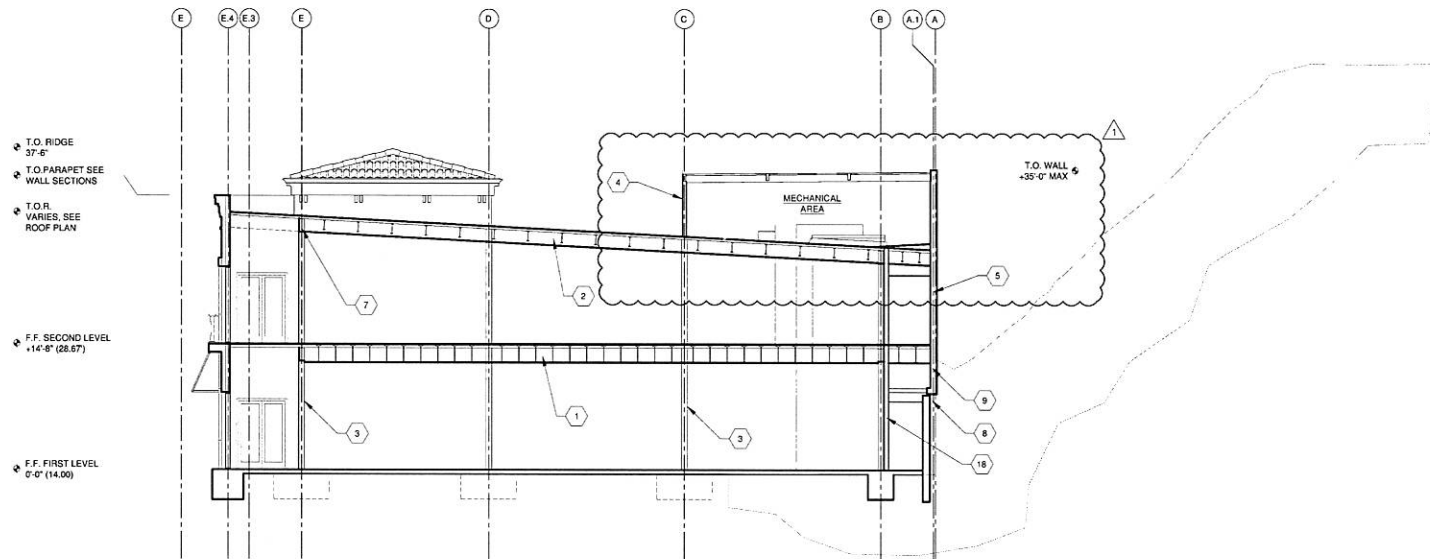
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SHEET

A-201



1 BUILDING SECTION - GARAGE
1/8" = 1'-0"



2 BUILDING SECTION - RETAIL
1/8" = 1'-0"

SHEET KEYED NOTES

- 1 1-HR RATED FLOOR / CEILING ASSEMBLY. SEE FIRE RATED ASSEMBLY DETAIL A1 / A-511.
- 2 1-HR RATED ROOF / CEILING ASSEMBLY. SEE FIRE RATED ASSEMBLY DETAIL B1 / A-511.
- 3 1-HR FIRE PROTECTION OF ALL STRUCTURAL COLUMNS. SEE FIRE RATED ASSEMBLY DETAIL A-511.
- 4 MECHANICAL SCREENING. SEE 1A-204 FOR ELEVATION.
- 5 2-HR RATED EXTERIOR WALL. SEE PLAN WALL TAGS AND WALL ASSEMBLY DETAIL C3 / A-511.
- 6 1-HR RATED ROOF. SEE RATED ASSEMBLY DETAIL B1 / A-511 AND ROOF PLAN FOR ROOFING SPECIFICATION.
- 7 1-HR RATED PROTECTION OF ALL BEAMS. SEE FIRE RATED ASSEMBLY DETAIL A-512.
- 8 RETAINING WALL. SEE CIVIL AND STRUCTURAL DRAWINGS.
- 9 GAP BETWEEN FRAMED WALL AND RETAINING WALL TOP. SEE WALL SECTIONS, EXTERIOR ELEVATIONS AND C1 / A-511.
- 10 1-HR RATED VERTICAL SHAFT. SEE PLANS AND MECHANICAL DRAWINGS.
- 11 GARAGE EXHAUST DUCT ENCLOSURE. SEE ROOF PLAN, ELEVATIONS AND DETAILS.
- 12 GARAGE FLOOR STRUCTURAL CONCRETE POST TENSIONED SLAB. SEE STRUCTURAL DRAWINGS.
- 13 TYPICAL COLUMN DROP PANEL. SEE PLANS AND STRUCTURAL DRAWINGS. MUST NOT ENCRoACH DRIVE AISLE RECD HEIGHTS.
- 14 STRUCTURAL CONCRETE COLUMN.
- 15 SHEAR WALL BEYOND. SEE STRUCTURAL DRAWINGS.
- 16 ROOF FRAMED OVER CONCRETE ROOF SLAB. SEE PLANS AND WALL SECTIONS.
- 17 PERGOLA. SEE ELEVATIONS, DETAILS AND ROOF PLAN.
- 18 1-HR INTERIOR WALL TYPICAL. SEE WALL ASSEMBLY TYPES AND DETAILS.
- 19 UNOCCUPIED ATTICE SPACE ACCESS. SEE ROOF PLAN.
- 20 GARAGE EXHAUST DUCTING. SEE PLANS AND MECHANICAL DRAWINGS. MAINTAIN CLEARANCES AT PARKING SPACES.
- 21 SUSPENDED CEMENT PLASTER CEILING BELOW PATIO AREAS. SEE REFLECTED CEILING PLAN AND WALL SECTIONS.

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TITLE
BUILDING SECTIONS

DATE 07-20-12
SCALE AS NOTED
PROJECT NO. 10112-005
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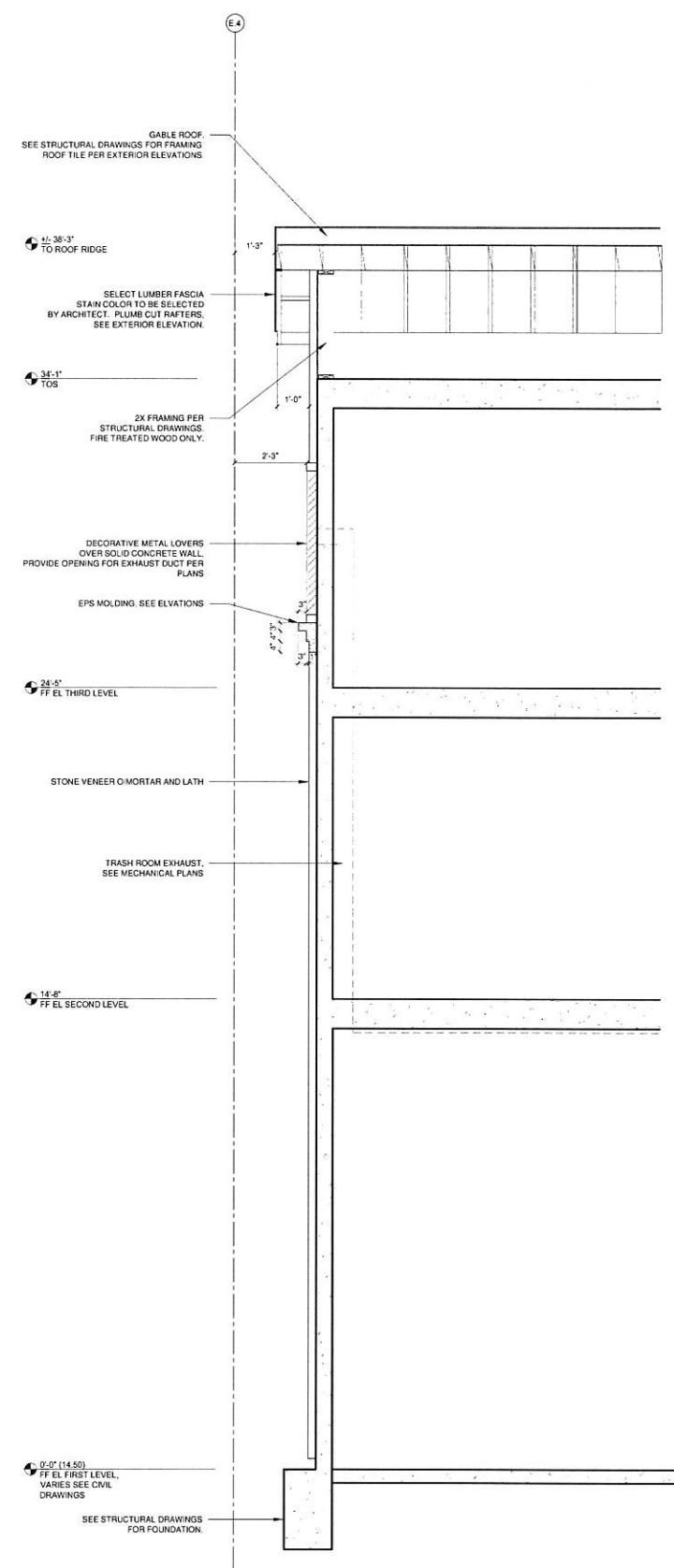
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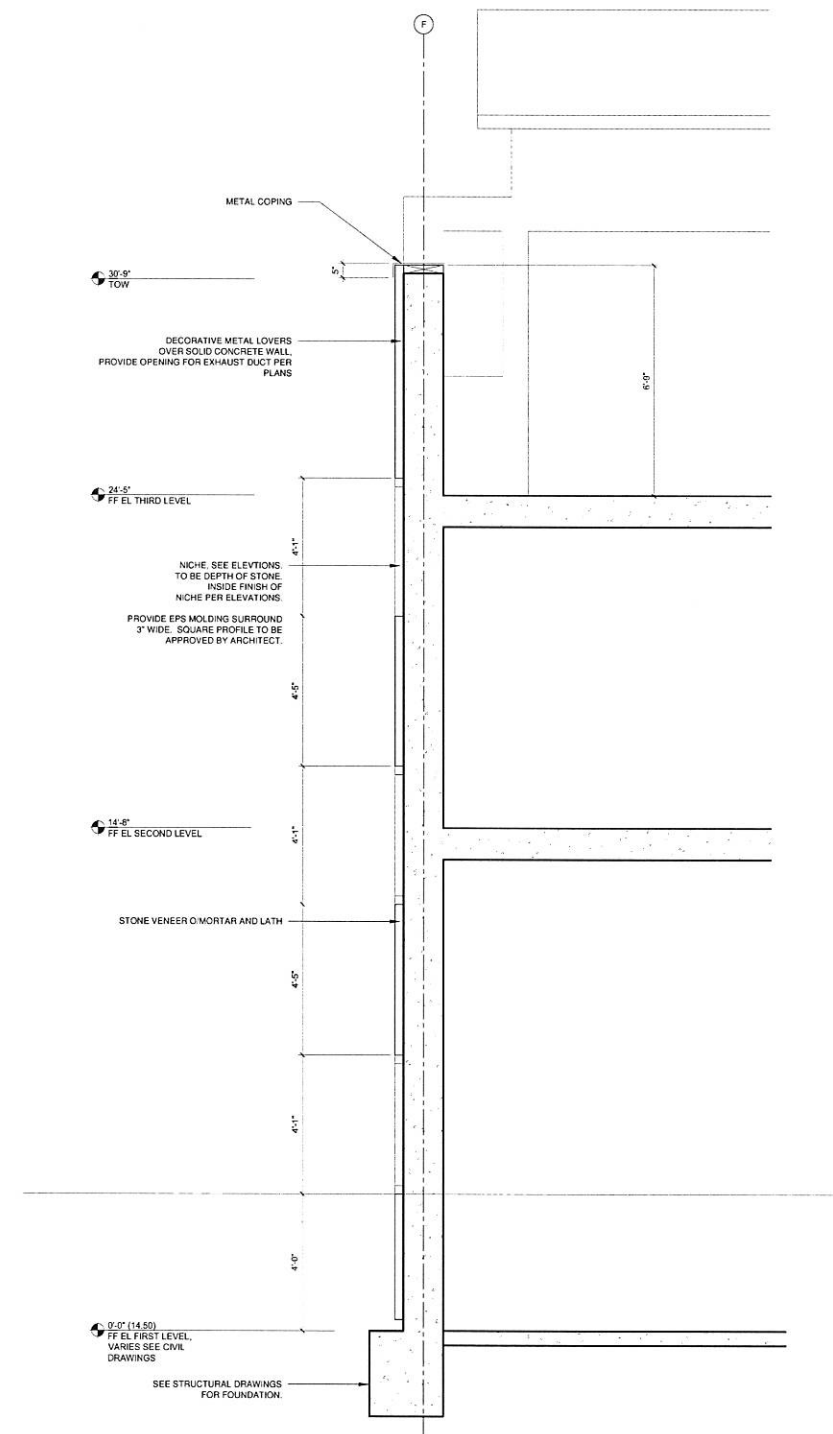
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07-20-12	BID SET

TITLE	
WALL SECTIONS GARAGE	
DATE	07-20-12
SCALE	AS NOTED
PROJECT NO.	10112-005
APPROVED	
SHEET	

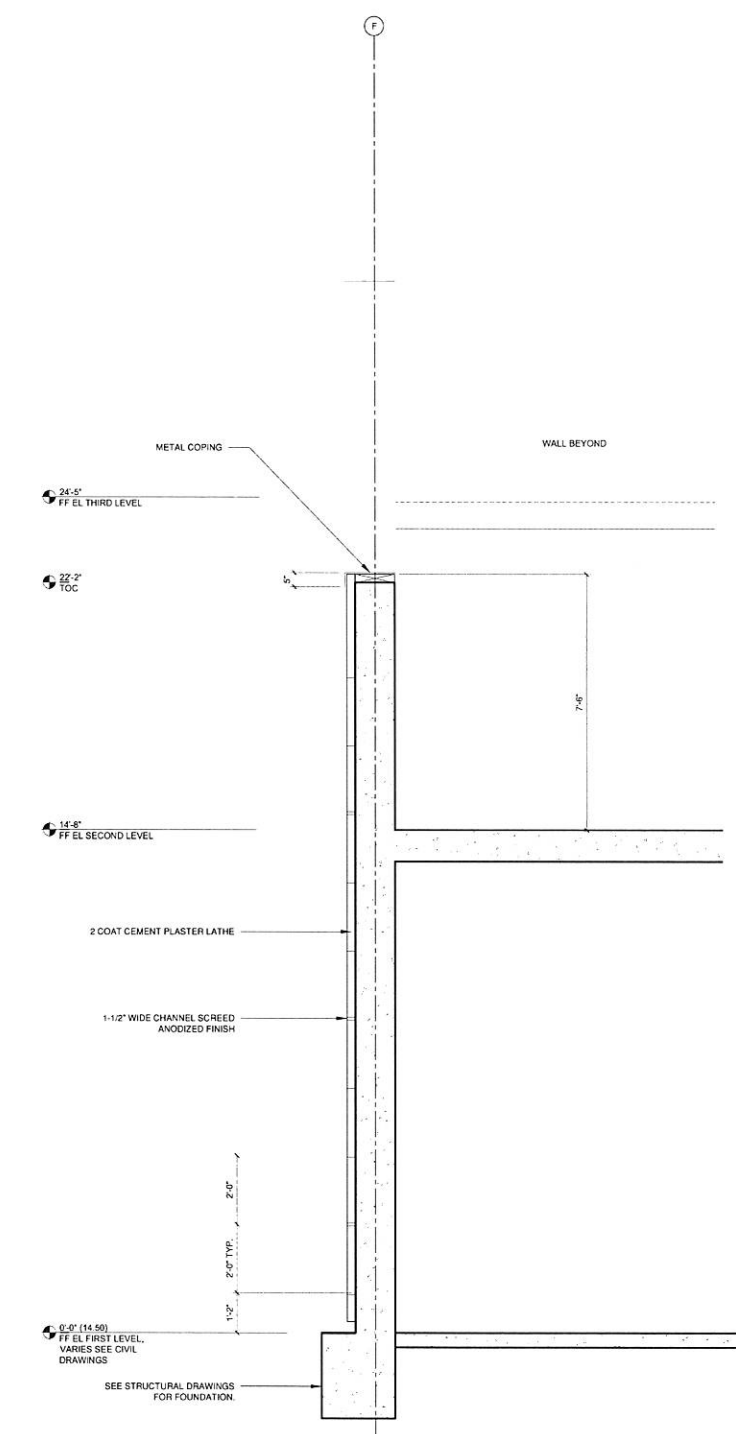
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1 WALL SECTION
1/2" = 1'-0"



2 WALL SECTION
1/2" = 1'-0"



3 WALL SECTION
1/2" = 1'-0"

Attachment No. PC 7

Proposed Revisions to Architectural Plan

ABBREVIATIONS

ACOUS PNL	ACOUSTICAL PANEL	MLDG	MOLDING (MOLDING)
AFH	ABOVE FINISHED FLOOR	MLWK	MLL WORK
AFH	ABOVE FINISHED GRADE	MOB BIT	MOISTURE BUTT
ALUM	ALUMINUM	MR	MOISTURE RESISTANT
ARCH	ARCHITECT	MTL	METAL
ASF	ARCHITECTURAL FINISH	MTLF	METAL FLASHING
ASPH	ASPHALT	N	NORTH
ASSY	ASSEMBLY	NOM	NOMINAL
ATC	ACOUSTICAL CEILING TILE	NRC	NOISE REDUCTION COEFFICIENT
ATTN	ATTENTION	NTS	NOT TO SCALE
AUX	AUXILIARY	O	OVER
B PL	BASE PLATE	OC	ON CENTER
BAB	BALLED AND BURLEAPPED	OCC	OCCUPY
BAT	BATTEN	OD	OUTSIDE DIMENSION
BB	BASEBOARD	OF	OUTSIDE FACE
BF	BOTH FACES	OFL	OVERFLOW DRAIN
BFF	BELOW FINISH FLOOR	OGL	OVERLAP GLASS
BTUM	BITUMINOUS	OHL	OVERHANG
BKBD	BACKBOARD	OPR	OPERABLE
BCKNG	BACKING	ORD	OVERFLOW ROOF DRAIN
BL	BUILDING LINE	OUT	OUTLET
BLDG	BUILDING	PAR	PARAPET
BLUHD	BULKHEAD	PB	PAINTED BASE
BLW	BELOW	PCC	PRECAST CONCRETE
BLW CLG	BELOW CEILING	PCT	PERCENT
BM	BEAM	PERF	PERFORATED
BRG	BEARING	PERIM	PERIMETER
BRG PL	BEARING PLATE	PH	PENTHOUSE
BS	BOTH SIDES	PL	PLASTER
BSMT	BASEMENT	PK GAR	PARKING GARAGE
BTWN	BETWEEN	PK LOT	PARKING LOT
BU	BUILT-UP	PL	PROPERTY LINE
BUR	BUILT-UP ROOFING	PLAS	PLASTIC
BOTH WAYS	BOTH WAYS	PLBG	PLUMBING
C TO C	CENTER TO CENTER	PLYWD	PLYWOOD
CAN	CANOPY	PMTL	PAINTED METAL
CB	CARRIAGE BOLT	PRETN	PREFINISH
CEM	CEMENT	PRLM	PRELUMINOUS
CTCLG	COUNTERFLASHING	PRKG	PARKING
CJ	CONTROL JOINT	PROP	PROPERTY
CL	CENTER LINE	PT	PAINT
CLG	CEILING	PT	PRESSURE TREATED
CLG HT	CEILING HEIGHT	PTN	PARTITION
CLG REQ	CEILING REQUIREMENT	PWR	POWER
CLKJ	CALKEED JOINT	QA	QUANTITY ASSURANCE
CLL	CONTRACT LIMIT LINE	QTB	QUANTITY
CLR	CLEAR	QTY	QUANTITY
CLR	CORNER	R	RADIUS
COM	COMMON	RBR	RUBBER
CONC	CONCRETE	RC	REINFORCED CONCRETE
CONC FLR	CONCRETE FLOOR	RCF	REFLECTED CEILING PLAN
COORD	COORDINATE	RD	ROAD
COUNTR	COUNTERSINK	RDG INS	RIGID INSULATION, SOLID
CTR	CENTER	REBAR	REINFORCING STEEL BARS
DATUM	DATUM	REQD	REQUIRED
DBL GLZ	DOUBLE GLAZE	RESL	RESILIENT
DET	DETAIL	REST	RESTROOM
DF	DRAINING FOUNTAIN	RET	RETURN
DA	DAMTER	RFG	ROOFING
DAG	DIAGONAL	RM	ROOM
DN	DIMENSION	RO	ROUGH OPENING
DET	DETAIL	RTU	ROOF TOP UNIT
DS CL	DOOR CLOSER	RV	ROOF VENT
DS	DOWNSPUT	S	SOUTH
DT	DRAIN TILE	SC	SOLID CORE
DSH	DRINKING WATER	SCH	SCHEDULE
DWG	DRAWING	SCRN	SCREEN
EC	EDGE OF CURB	SE	STRUCTURAL ENGINEER
EFH	EXTERIOR FINISH SYSTEM	SGL	SINGLE
EJ	EXPANSION JOINT	SHT	SHAFT (ELEVATOR)
EL	ELEVATION	SHTG	SHOOTING
ELAST	ELASTOMERIC	SM	SIMILAR
ENCL	ENCLOSURE	SJ	SLIP JOINT
EOS	EDGE OF SLAB	SKLT	SKYLIGHT
EQ	EQUAL	SLNG	SLOING
ESMT	EASEMENT	SMK	SMOKE
ETC	AND SO FORTH	SOV	SHUT OFF VALVE
EW	EACH WAY	SP	STANDPIPE
EXST	EXISTING	SP EL	SPOT ELEVATION
EXP	EXPOSED	ST	STAINLESS STEEL
EXT GR	EXISTING GRADE	ST	STAIRS
EXT	EXTERIOR	STL JST	STEEL JOIST
FF	FACE TO FACE	STL PL	STEEL PLATE
FA	FIRE ALARM	STLS	STAINLESS
FD	FLOOR DRAIN	STRUCT STL	STRUCTURAL STEEL
FOR	FIRE DOOR	SUB FL	SUBFLOOR
FF	FINISH FACE	SURR	SURROUND
FF EL	FINISH FLOOR ELEVATION	SUSP CLG	SUSPENDED CEILING
FFAE	FURNITURE, FIXTURE AND EQUIPMENT	T&B	TOP AND BOTTOM
FM GR	FINISH GRADE	T&G	TONGUE AND GROOVE
FFT	FINISH FACE	TE	TOP ELEVATION
FL	FLOOR	TEMP	TEMPORARY
FLR FIN	FLOOR FINISH	TFA	TO FLOOR ABOVE
FLC	FACE OF CONCRETE	TFB	TO FLOOR BELOW
FOF	FACE OF FINISH	TFF	TO TOP OF FINISH FLOOR
FOG	FACE OF STUO	THK	THICKNESS
FP	FIRE PROTECTION	THRU	THROUGH
FRG	FIBER REINFORCED GYPSUM	THROUOUT	THROUGHOUT
FRR	FIBERGLASS REINFORCED PLASTIC	TOB	TOP OF BEAM
FURG	FURNING	TOC	TOP OF CONCRETE
FURN	FURNITURE	TOC FTG	TOP OF CONCRETE FOOTING
GALV	GALVANIZED	TOC WALL	TOP OF CONCRETE WALL
GC	GENERAL CONTRACTOR	TOP	TOP OF FLOOR
GEN	GENERAL	TOJ	TOP OF JOIST
GL	GROUND LEVEL	TOM	TOP OF MASONRY
GL BLK	GLASS BLOCK	TOS	TOP OF PARAPET
GLZ	GLAZING	TOW	TOP OF WALL
GR FL	GROUND FLOOR	TRANS	TRANSPARENT
GYP BD	GYPSUM BOARD	TS	TUBE STEEL
HB	HOSE BIBB	TYP	TYPICAL
HWD	HARDWARE	UND	UNDERGROUND
IQD	INDOOR AIR QUALITY	UNFIN	UNFINISHED
INT	INTERIOR DESIGN	UNF	UNIFORM
INS	INSIDE FACE OF STUO	UTL	UTILITY
INSUL	INSULATION	VERT	VERTICAL
INSUL PNL	INSULATED METAL PANEL	VEST	VESTIBULE
INT	INTERIOR	VNR	VENEER
INT	INTERIOR	VR	VAPOR RETARDER
JUN	JUNCTION BOX	W/O	WITHOUT
LAM	LAMINATE	WBL	WOOD BLOCKING
LAM GL	LAMINATED GLASS	WCD	WOOD
LAV	LAVATORY	WDO	WINDOW
LBS	POUND	WFL	WIDE FLANGE
LF	LINEAR FEET (FOOT)	WFM	WOOD FRAME
LN	LEFT HAND	WN	WALL HUNG
LL	LOW LEVEL	WP	WATERPROOFING
LLSCDP	LANDSCAPE	WYF	WELDED WIRE FABRIC
LT GA	LIGHT GAGE	WYM	WELDED WIRE MESH
LV	LOW VOLTAGE		
LVR	LOUVER		
LWC	LIGHTWEIGHT CONCRETE		
LXR	LAYER		
MACH RM	MACHINE ROOM		
MATL	MATERIAL		
MD	METAL DECK		
MCH	MECHANICAL		
MEZZ	MEZZANINE		
MFD	MANUFACTURED		
MFR	MANUFACTURER		
MH	MANHOLE		
MISC	MISCELLANEOUS		
ML	METAL LATH		

LOCAL FIRE AUTHORITY NOTES

1. PATH OF TRAVEL, AS INDICATED IS BARRIER FREE ACCESS WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 12" PER CBC 1104.8. MAXIMUM CROSS-SLOPE 2% TYPICAL. THE CONTRACTOR SHALL VERIFY THAT THE INDICATED PATH OF TRAVEL HAS BEEN CONSTRUCTED WITHOUT BARRIERS.
2. ALL BUILDING ENTRANCES SHALL BE EQUIPPED WITH A KNIV BOX. LOCATE PER FIRE MARSHAL.
3. FIRE FLOW AND HYDRANT LOCATIONS AND DISTRIBUTION WILL BE IN COMPLIANCE PER CALIFORNIA FIRE CODE.
4. ALL CONCRETE CURBS FINISH FIRE LANE SHALL BE PAINTED RED WITH 4" HIGH WHITE LETTERS TO READ "NO PARKING FIRE LANE" AND SHALL BE SET BACK EVERY 30'-0" ALONG RED CURB OR AS INDICATED BY THE FIRE MARSHAL OR AUTHORITY HAVING JURISDICTION.
5. DURING CONSTRUCTION AND OR DEMOLITION, PROVIDE A PORTABLE FIRE EXTINGUISHER WITH A RATING OF NOT LESS THAN 2A OR 2A:100C WITHIN 75' TRAVEL DISTANCE OF ALL PORTIONS OF THE BUILDING ON EACH FLOOR.
6. DUMPSTERS AND TRASH CONTAINERS LARGER THAN 1.5 CUBIC YARDS SHALL NOT BE STORED IN BUILDINGS OR PLACED WITHIN 5 FEET OF COMBUSTIBLE WALLS, OPENINGS OR COMBUSTIBLE ROOF EAVES UNLESS PROTECTED BY AN APPROVED SPRINKLER SYSTEM.
7. INTERIOR FINISH SHALL CONFORM TO CHAPTER 8 OF THE 2010 CBC. DECORATIVE MATERIALS SHALL BE FLAME RETARDANT. CERTIFICATION THEREOF SHALL BE PROVIDED. EXITS, EXIT SIGNS, FIRE ALARM PANELS, NOSE CABINETS AND FIRE EXTINGUISHER LOCATIONS SHALL NOT BE CONCEALED BY DECORATIVE MATERIAL.
8. ALL EXIT DOORS SHALL BE OPENABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. ONLY THE MAIN EXIT DOOR MAY HAVE KEY OPERATED HARDWARE AND SHALL BE LABELED "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS" IN BLOCK LETTERS A MINIMUM OF 1" HIGH ON CONTRASTING BACKGROUND. EFFORT TO DISGUISE IS NOT TO EXCEED 8 LBS. FOR EXTERIOR DOORS, 5 LBS. FOR INTERIOR DOORS AND 15 LBS. FOR FIRE RATED DOORS.
9. AT THE TIME OF OCCUPANCY PERMIT, PROVIDE EXTINGUISHERS OF THE SIZE AND TYPE REQUESTED BY THE FIRE OFFICIAL. FIRE EXTINGUISHER LOCATIONS SHALL BE DETERMINED BY FIELD INSPECTION NOT INDICATED ON THE APPROVED PLANS. ALL FIRE EXTINGUISHERS TO HAVE ULL APPROVAL.
10. THIS BUILDING IS NOT APPROVED FOR HIGH-PILED STOCK. MATERIALS CANNOT BE STORED HIGHER THAN SIX FEET WITHOUT FIRST OBTAINING APPROVAL FROM THE CITY OF NEWPORT BEACH FIRE DEPARTMENT. A SEPARATE SUBMITTAL IS REQUIRED PRIOR TO STORING MATERIALS ABOVE SIX FEET. STORAGE WITHIN AISLES IS PROHIBITED. THE REQUIRED WIDTH OF AISLES SHALL REMAIN CLEAR AT ALL TIMES. AT NO TIME SHALL STORAGE BLOCK EXIT TRAVEL OR EXIT DOORS.
11. PROVIDE FIRE STOPPING TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICAL AND HORIZONTAL) AT 10'-0" O.C. EACH WAY.
12. PROTECT ABOVE GROUND GAS METERS, REGULATORS, SWITCHGEAR AND PIPING EXPOSED TO VEHICULAR DAMAGE DUE TO PROXIMITY TO ALLEYS, DRIVEWAYS OR PARKING AREAS IN AN APPROVED MANNER.
13. MAINTAIN A EXTERIOR WALKWAYS WITH A MINIMUM WIDTH OF 48" TO A PUBLIC WAY.
14. THE KEY TO THE BUILDING OR SUITE MUST BE GIVEN TO THE FIRE INSPECTOR AT THE TIME OF FINAL INSPECTION. THE KEY WILL BE LOCKED IN THE KNIV BOX FOR FIRE DEPARTMENT EMERGENCY ACCESS.
15. SPRINKLER PLANS SHALL BE SUBMITTED AND APPROVED UNDER A SEPARATE PERMIT.
16. FIRE EXTINGUISHING WHEN SERVING MORE THAN 20 SPRINKLER HEADS, AUTOMATIC SPRINKLER SYSTEMS SHALL BE SUPERVISED BY AN APPROVED CENTRAL, PROPRIETARY OR REMOTE, STATION SERVICE OR SHALL BE PROVIDED WITH A LOCAL ALARM WHICH WILL GIVE AN AUDIBLE SIGNAL AT A CONSTANTLY ATTENDED LOCATION. CBC 904.3.
17. COMMERCIAL OCCUPANCIES WITH MULTIPLE TENANTS SHALL BE POSTED WITH A MINIMUM OF 3 INCH HIGH CONTRASTING LETTERS, SITE DESIGNATIONS PROVIDED BY OWNER, DISPLAYED ON THE MAIN ENTRANCE AND REAR DOOR(S) OF THE TENANT SPACES. CONTRACTOR TO PROVIDE LETTERS TO AGENCIES AS NOTED.
18. ALL NEW FIRE HYDRANTS SHALL BE INSTALLED AND TESTED PRIOR TO PLACING ANY COMBUSTIBLE MATERIALS ON THE JOE SITE.
19. FIRE PERMITS WILL BE OBTAINED PRIOR TO OCCUPANCY.

BUILDING DEPARTMENT NOTES

1. ALL GLASS OVER 6 SQUARE FEET IN AREA WITHIN 12" OF FLOOR OR 36" OF GRADE, AND GLASS DOORS AND WALL PANELS SHALL BE LAMINATED OR FULLY TEMPERED. SEE ELEVATIONS.
2. ALL GLAZING WITHIN A 24" ARC OF EITHER EDGE OF A DOOR AND WITHIN 60" OF THE FLOOR SHALL BE TEMPERED. SEE ELEVATIONS.
3. MEANS OF EGRESS SHOULD BE ILLUMINATED AT ALL TIMES HAVING A LIGHT INTENSITY OF NOT MORE THAN ONE FOOT-CANDLE AT FLOOR LEVEL.
4. MEANS OF EGRESS ILLUMINATION IS REQUIRED TO BE PROVIDED WITH AN EMERGENCY BACKUP SOURCE OF POWER PER THE REQUIREMENTS OF CBC 1006.3.
5. EXIST SIGNS ARE REQUIRED TO HAVE AN EMERGENCY BACKUP SOURCE OF POWER PER CBC 1011.5.3.
6. ALL GROUND FLOOR ENTRANCES AND EXITS SHALL BE ACCESSIBLE TO PERSONS WITH DISABILITIES.
7. LATCHING AND LOCKING DEVICES THAT ARE HAND ACTIVATED AND WHICH ARE IN PATH OF TRAVEL SHALL BE OPERABLE WITH A SINGLE EFFORT BY LEVER TYPE, PUSH TYPE, PULL BAR, HARDWARE OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE.
8. ALL DOORS, WINDOWS AND OTHER JOINTS IN THE EXTERIOR WALLS SHOULD BE FULLY INSULATED.
9. SEE ITEMS UNDER SEPARATE PERMIT AND PLAN REVIEW.

CONTINUOUS SPECIAL INSPECTION REQ'D

1. TWO-HOUR RATED WALL SEAL: ESMFIELD WFR2, SEE DETAIL C11 A-511

DEFERRED SUBMITTALS

1. FIRE SPRINKLER
GARAGE AREA: FIRE SPRINKLER SYSTEM DESIGN CRITERIA: NFPA 13 2010 ORDINARY HAZARD GROUP 2
CALCULATED @ 20 DENSITY/2000 SQ FT.
FIRE FLOW TEST RESULTS:
STATIC PRESSURE: 115 PSI RESIDUAL PRESSURE: 90 PSI
FLOWING: 1542 GPM
RETAIL BUILDING FIRE SPRINKLER SYSTEM DESIGN CRITERIA: NFPA 13 2010 ORDINARY HAZARD GROUP 2
CALCULATED @ 20 DENSITY/2000 SQ FT.
FIRE FLOW TEST RESULTS:
STATIC PRESSURE: 115 PSI RESIDUAL PRESSURE: 90 PSI
FLOWING: 1542 GPM
2. FIRE ALARM - DESIGNED IN ACCORDANCE WITH 2010 NFPA 72
3. STEEL STAIRS - SEE DETAILS A1-A-48 FOR STAIR CODE REQUIREMENTS - FOR STAIR FABRICATOR
4. PRESTRESSING STEEL DESIGN CALCULATIONS INCLUDING ELONGATION AND LOSS OF PRESTRESS (ACI 318 SECTION 18.6)
5. P.T. STEEL SHOP DRAWINGS
6. P.T. STRAND END ANCHORAGE SHOP DRAWINGS
7. FLOOR AND ROOF OPEN WEB WOOD TRUSSES

SEPARATE PERMIT / PLAN REVIEW

1. GEOPIERS
2. SHORING
3. UNDERGROUND FIRE LINE
4. TENANT SIGNAGE



MARINER'S POINTE

PROJECT DESCRIPTION/ SCOPE OF WORK

THE PROJECT CONSISTS OF A NEW CONSTRUCTION TWO-STORY COMMERCIAL USE BUILDING (SHELL ONLY - NO TENANT IMPROVEMENTS), ATTACHED 1-STORY PARKING STRUCTURE, AND RELATED SITE IMPROVEMENTS INCLUDING LANDSCAPE AREAS, PAVING, AND WATER FEATURE.

PROJECT AREAS

GROSS BUILDING SQUARE FOOTAGE: 76,915 SF - SEE SHEET GA-102 BUILDING AREAS FOR BREAKDOWN.
GROSS LEASABLE BUILDING AREA: 19,387 SF - SEE GA-104 PLANNING AREAS FOR BREAKDOWN.
SEE GA-106 FOR PARKING TABULATIONS AND LAYOUT.

PROJECT ADDRESS

100 WEST COAST HIGHWAY (PA2010-114) NEWPORT BEACH, CA

PROJECT OWNER AND ADDRESS

WINSTON'S JEWELERS C/O VBAS PROPERTIES, INC. - 1775-B NEWPORT BLVD, COSTA MESA, CA 92627 - 949-445-9000

PROJECT TEAM DIRECTORY

ARCHITECT OF RECORD	STOUTENBOROUGH, INC. CONTACT: RYAN DAVIS 420 ALTA VISTA WAY, SUITE 100 LAGUNA BEACH, CA 92653 949-715-3257
STRUCTURAL ENGINEER	TILSON ENGINEERING CONTACT: RANDI DINARI 2601 RANDI DRIVE, SUITE 203 LAKE FOREST, CA 92630 949-421-0144 SIGNATORY: SIA TILSON-KOCH
MECH/ELECTRICAL ENGINEER	IDS GROUP, INC. CONTACT: MATT WALLER 1 PETERS CANYON ROAD, SUITE 130 IRVINE, CA 92618 949-445-9000 SIGNATORY: RAY ORANSTON (MECHANICAL/PLUMBING) ABBAS HEYDARI (ELECTRICAL)
CIVIL ENGINEER	ANACAL ENGINEERING CONTACT: GLEN BATHURNEY 1900 EAST LA PALMA AVENUE, SUITE 202 ANAHEIM, CA 92805 714-774-7152 SIGNATORY: DAVID C. QUEYREL
LANDSCAPE ARCHITECT	MUS DESIGN GROUP, INC. CONTACT: BEN MONTRELLA 507 30TH STREET NEWPORT BEACH, CA 92663 949-715-3257 SIGNATORY: MARK SCHATTINGER

REFERENCED CODES

THESE PLANS WERE COMPLETED USING THE FOLLOWING CODES AND STANDARDS:

2010 CBC, 2010 CPC, 2010 CEC, 2010 CMC, 2010 NFPA 10, 2008 BUILDING ENERGY EFFICIENCY STANDARDS (BEES), 2010 CALIFORNIA FIRE CODE, 2010 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN), CHAPTER 15 OF THE NEWPORT BEACH MUNICIPAL CODE (NBMC)

ZONING INFORMATION

- A. GROSS FLOOR AREA: FIRST FLOOR: 19,387 SF, SECOND FLOOR: 57,528 SF, GROSS BUILDING AREA TOTAL = 76,915 SF. SEE GA-104 FOR COMPLETE BREAKDOWN.
- B. FLOOR TO AREA RATION (FAR): 19,387 SF BUILDING / 33, 630 SF SITE AREA = 0.60 FAR
- C. LOCAL ZONING DESIGNATION: M-1 (MEDIUM DENSITY RESIDENTIAL) - SEE GA-104 FOR COMPLETE BREAKDOWN.
- D. SITE DEVELOPMENT REVIEW NO. SR201-001
- E. CONDITIONAL USE PERMIT NO. 2010-024
- F. VARIANCE NO. 2010-004
- G. PARCEL MAP NO. 2010-008

NOTE TO PLANS EXAMINER

ADDITIONAL CODE DATA RELATED TO BUILDING AREAS MIXED OCCUPANCIES, OCCUPANT LOADS, EGRESS AND LIFE SAFETY HAS BEEN PROVIDED ON SHEETS GA-101 TO GA-103 AND AREAS ON GA-105

BUILDING CODE ANALYSIS

- A. BUILDING AREAS: PARKING STRUCTURE - 17,308 SF (1ST) - 15,427 (2ND) - 18,528 (3RD) - 55,585 SF
TOTAL BUILDING AREA = 76,915 SF
RETAIL BUSINESS RESTAURANT - 11,387 SF (1ST) - 9,371 (2ND) - 21,387 SF
TOTAL BUILDING AREA = 76,915 SF
- B. OCCUPANCIES: 1. COMMERCIAL (C), 2. RESIDENTIAL (R), 3. EDUCATIONAL (E), 4. ASSEMBLY (A), 5. GROUP (G), 6. MIXED (M), 7. MECHANICAL (ME), 8. STORAGE (S), 9. OTHER (O), 10. UNCLASSIFIED (U).
OCCUPANCIES - REQUIRED SEPARATION OF 1-HOUR FIRE BARRIER BETWEEN A-2 AND M-1 B OCCUPANCIES PER TABLE 508.4 AND NON-SEPARATED USES (SEES 5-2, 8, 9). V-A CONSTRUCTION GROUP M OCCUPANCY IS THE MOST RESTRICTIVE (TABLE 508.4 AND SECTION 508.3). THEREFORE, GROUP M OCCUPANCY ALLOWABLE USES AS THE TABULAR BUILDING AREA PER STORY. FIRE BARRIERS BETWEEN 5-2, 8, 9, 10 WAS OMITTED BECAUSE THE OCCUPANCIES ARE ANALYZED AS NON-SEPARATED OCCUPANCY PER SECTION 508.3 OF CBC 2010.
- C. NUMBER OF STORIES: 2 (COMMERCIAL BUILDING), 3 (PARKING GARAGE)
- D. CONSTRUCTION TYPE: V-A, FULLY SPRINKLERED
- E. MINIMUM FIRE RESISTIVE RATINGS (PER CBC TABLE 601 & 602):
PRIMARY STRUCTURAL FRAME: 1 HOUR / 2 HOURS WHEN FIRE SEPARATION DISTANCE IS LESS THAN 5'-0" NORTH AND WEST WALLS OF THIS PROJECT. SEE PLANS.
- F. BEARING WALLS:
EXTERIOR: 1 HOUR
INTERIOR: 1 HOUR
- G. NONBEARING WALLS AND PARTITIONS:
EXTERIOR NORTH AND WEST WALLS: 2 HOUR (PER CBC TABLE 602 FIRE SEPARATION DISTANCE) - SEE PLANS FOR DISTANCE. NO OPENINGS ARE ALLOWED IN THE 2-HOUR NORTH AND WEST EXTERIOR WALLS.
EXTERIOR SOUTH AND EAST WALLS: 1 HOUR - OPENINGS IN 1-HOUR EXTERIOR WALL NOT REQUIRED TO BE PROTECTED (PER CBC TABLE 706.8) BASED ON 30 FOOT OR GREATER FIRE SEPARATION DISTANCE. SEE PLANS FOR DISTANCE.
INTERIOR: 0
- H. FLOOR CONSTRUCTION AND SECONDARY MEMBERS: 1
ROOF CONSTRUCTION AND SECONDARY MEMBERS: 1
SECONDARY MEMBERS AS DEFINED BY CBC SECTION 209. STRUCTURAL MEMBERS NOT HAVING DIRECT CONNECTION TO FLOOR OR ROOF MEMBERS OF THE FLOOR CONSTRUCTION NOT HAVING DIRECT CONNECTION TO THE COLUMNS AND BRACING MEMBERS OTHER THAN THOSE THAT ARE PART OF THE PRIMARY STRUCTURAL FRAME.

BUILDING CODE ANALYSIS (CONT.)

- F. SHAFT ENCLOSURES PER CBC 708 SHALL CONSTRUCTED AS FIRE BARRIERS PER CBC SECTION 707 AND OR HORIZONTAL ASSEMBLIES PER CBC SECTION 712.
+ ELEVATOR HOISTWAYS: 1 HOUR RATED
+ MECHANICAL DUCT SHAFTS: 1 HOUR RATED
- G. EXIT ENCLOSURES PER CBC 708 SHALL CONSTRUCTED AS FIRE BARRIERS PER CBC SECTION 707 AND OR HORIZONTAL ASSEMBLIES PER CBC SECTION 712.
+ INTERIOR EXIT STAIRWAY ENCLOSURES PER CBC 1022: 1 HOUR RATED
+ EXIT PASSAGEWAYS ENCLOSURES (PER CBC 1023): 1 HOUR RATED
- H. PENETRATIONS THROUGH FIRE RATED ASSEMBLIES AND RATED ENCLOSURES SHALL COMPLY WITH CBC 713, CBC 715 AND TABLE 713.4.
+ SHAFT, EXIT ENCLOSURE, AND EXIT PASSAGEWAY DOORS: 1 HOUR RATED
- I. HEIGHT AREA CALCULATIONS:
BUILDINGS ARE TWO AND THREE STORIES. MAX STORIES PER TABLE 503: 2 FOR A-2, 3 FOR M-1, AND 4 FOR S-2. NO STORY INCREASES REQUIRED.
MAX HEIGHT - MAX ALLOWABLE PER TABLE 503 IS 50'. BUILDINGS ARE MAX 40' TO HIGHEST ROOF PROJECTION. NO HEIGHT INCREASES REQUIRED.
SEE AREA CALCULATIONS IN MIXED AREA RATIOS SHEET GA-103

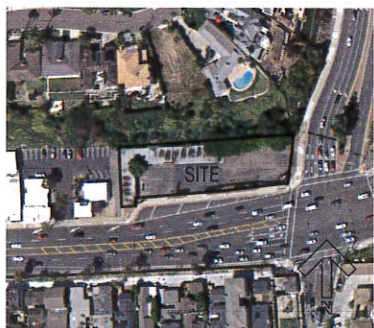
HOW TO READ THESE DRAWINGS

1. SEE ARCHITECTURAL SHEET GA-002 FOR ARCHITECTURAL SYMBOLS LEGEND AND NOTES
2. ALL DIMENSIONS ARE TO FINISH FACE OF CONCRETE, CENTERLINE OF STEEL, FACE OF STUO OR CASEWORK UNLESS OTHERWISE NOTED. DIMENSIONS NOTED AS "CLIP MUST BE PRECISELY MAINTAINED. DIMENSIONS ARE NOT ADJUSTABLE WITHOUT ARCHITECT'S APPROVAL, UNLESS NOTED AS "CLIP". HEIGHT DIMENSIONS MARKED "CLIP" PRIOR TO COMMENCEMENT OF CONSTRUCTION, AND NOTIFY ARCHITECT OF ANY INCONSISTENCIES.
3. GROUND FLOOR FINISH FLOOR REFERENCE DATUM (EQUALS 0'-0") REFER TO CIVIL PLANS FOR ACTUAL SITE ELEVATION.
4. ALL DIMENSIONS, NOTES AND DETAILS SHOWN ON ONE PORTION OF A DRAWING SHALL APPLY TYPICALLY TO ALL OPPOSITE HALF AND/OR CONDITIONS UNLESS OTHERWISE NOTED.
5. "XEROX" SHALL MEAN TO ACCURATELY LOCATE FINISH FACES IN THE SAME PLANE.
6. THE CONTRACT DOCUMENTS ARE COMPLEMENTARY. WHAT IS SHOWN OR REFERRED TO PARTIALLY OR WHOLE ON ANY SHALL BE PROVIDED AS THOUGH SHOWN ON ALL.
7. DO NOT SCALE DRAWINGS. DIMENSIONS SHALL GOVERN. DRAWINGS AT LARGE SCALE SHALL TAKE PRECEDENCE OVER DRAWINGS OF A SMALL SCALE. DETAILS SHALL GOVERN OVER PLANS AND ELEVATIONS.
8. IN CASE OF CONFLICT BETWEEN THE ARCHITECTS AND ENGINEERS DRAWINGS IN THE LOCATION OF MATERIALS AND/OR EQUIPMENT, ARCHITECTURAL DRAWINGS SHALL GOVERN. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF SUCH CONFLICT.

PROJECT VICINITY MAP (N.T.S.)



PROJECT LOCATION (N.T.S.)



SHEET LEGEND

DISCIPLINE	GENERAL INFO	INTERIORS	PROJECT DIVISION	SHEET TYPE
GA - GENERAL ACCESSIBILITY	1 - PLANS	2 - FIRST PROTECTION	3 - SECTIONS	4 - GENERAL
HA - HARDWARE	5 - DETAILS	6 - MECHANICAL	7 - ELECTRICAL	8 - TELECOMMUNICATIONS
LA - LANDSCAPE	9 - SITE	10 - ARCHITECTURAL	11 - FOOD SERVICE	12 - PER PROJECT

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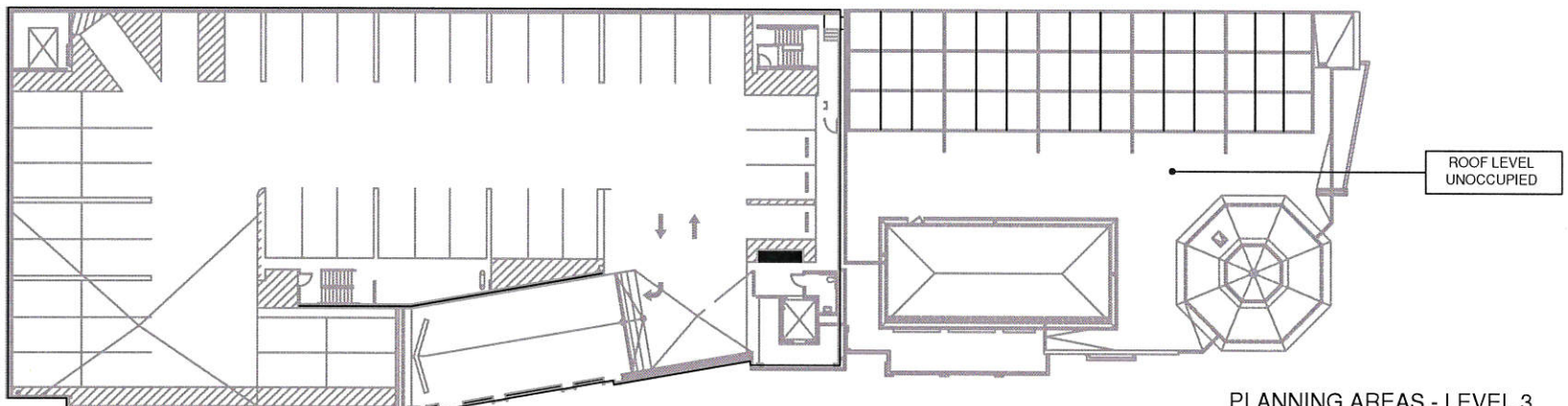
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PLANNING REVIEW

MARINER'S POINTE

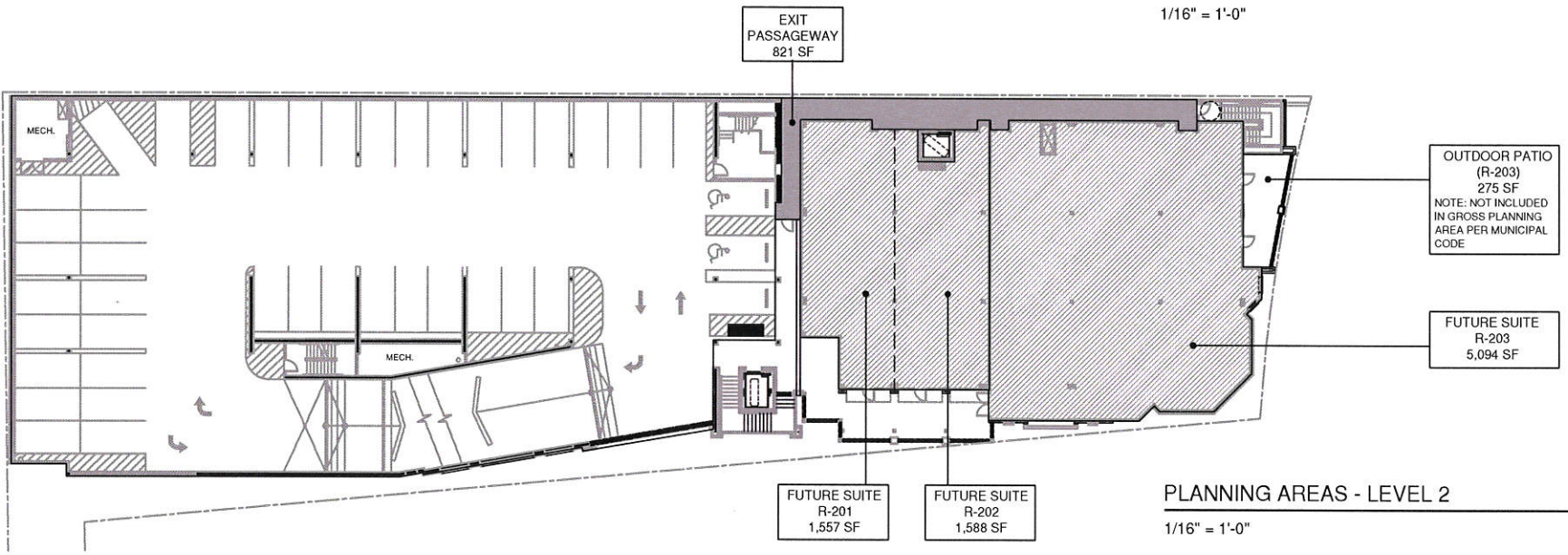
WEST COAST HIGHWAY AT DOVER
NEWPORT BEACH, CA

03-09-12	△	INITIAL AGENCY SUBMITTAL
06-04-12	1	AGENCY REVISION 1
07-20-12	△	BID SET
08-01-12	2	AGENCY REVISION 2
10-15-12	3	AGENCY REVISION 3
11-07-12	4	VALUE ENGINEERING
	△	



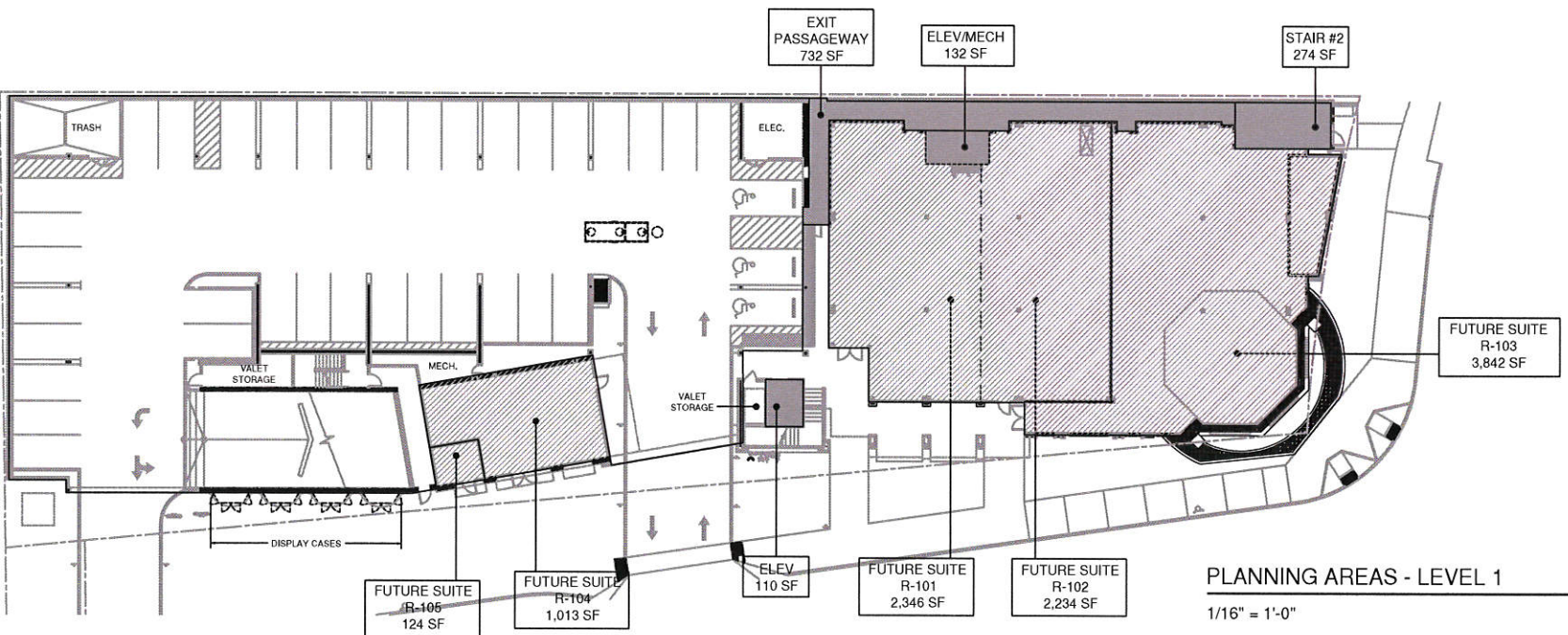
PLANNING AREAS - LEVEL 3

1/16" = 1'-0"



PLANNING AREAS - LEVEL 2

1/16" = 1'-0"



PLANNING AREAS - LEVEL 1

1/16" = 1'-0"

OCCUPANCY LEGEND	
GROSS LEASABLE AREA	
SERVICE AREA	

PLANNING AREAS TABULATION SUMMARY			
BUILDING AREA	GROSS LEASABLE	SERVICE AREA	GROSS BUILDING (*)
GROUND LEVEL	9,559 SF	1,248 SF	10,807 SF
SECOND LEVEL	8,239 SF	821 SF	9,060 SF
TOTAL	17,798 SF	2,069 SF	19,867 SF
SITE AREA			33,030 SF
FLOOR-AREA RATIO			0.60

NOTE: INCLUDES EXIT CORRIDOR ON L1 & L2, ELEVATOR SHAFTS AND STAIR 2 AREAS ON ONE LEVEL ONLY

PARKING TABULATION - SEE PARKING PLAN GI-102

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MARINER'S POINTE
WEST COAST HIGHWAY AT DOVER
NEWPORT BEACH, CA

- 03-09-12 INITIAL AGENCY SUBMITTAL
- 06-04-12 AGENCY REVISION 1
- 07-20-12 BID SET
- 11-07-12 VALUE ENGINEERING

TITLE
PLANNING AREAS
DATE 1-16-13
SCALE AS NOTED
PROJECT NO. 10112-005
APPROVED

SHEET
GI-104

SHEET KEYED NOTES

- 1 SEE ENLARGED PLAN FOR CRITICAL DETAIL AT ACCESSIBILITY AT THE MAIN ENTRY DOORS. THE SYMBOL SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND EQUAL TO COLOR NO. 15550 IN FEDERAL STANDARD 595B. SEE EXTERIOR ELEVATIONS FOR LOCATION.
- 2 WALL FLOOR PENETRATIONS - SEE MECHANICAL DRAWINGS.
- 3 WALL FURRING, SEE ELEVATIONS AND WALL SECTIONS.
- 4 HOSE BIB. SEE PLUMBING DRAWINGS.
- 5 EXTENT OF PAVEMENT SYSTEM, SEE SITE PLAN, STRUCTURAL, AND LANDSCAPE DRAWINGS.
- 6 CMU BLOCKED OPENING THIS SECTION OF WALL. SEE STRUCTURAL DRAWINGS.
- 7 NOT USED.
- 8 DIRECTIONAL ARROWS - DETAIL C1/A-503A.
- 9 12" BLOCK WALL. SEE STRUCTURAL. PROVIDE INTERIOR FURRING AND 5/8" GYP BD.
- 10 ROLL DOWN 1-HR RATED FIRE DOORS. SEE ENLARGED PLANS.

SHEET KEYED NOTES

- 11 PROVIDE 6" X 6" INTERNATIONAL SYMBOL OF ACCESSIBILITY AT THE MAIN ENTRY DOORS. THE SYMBOL SHALL CONSIST OF A WHITE FIGURE ON A BLUE BACKGROUND EQUAL TO COLOR NO. 15550 IN FEDERAL STANDARD 595B. SEE EXTERIOR ELEVATIONS FOR LOCATION.
- 12 PHASE I EMERGENCY RECALL OPERATION AND PHASE II EMERGENCY INCAR OPERATION IS REQUIRED FOR ALL ELEVATORS.
- 13 PROVIDE A KEY BOX ENTRY SYSTEM (KNOX-BOX) AND TAMPER SWITCH MOUNTED TO EXTERIOR WALL, RIGHT SIDE OF THE MAIN ENTRY DOOR, 6 FEET AGL. LOCATE AS INDICATED PER PLANS. KEYS SHALL BE PROVIDED FOR ALL EXTERIOR DOORS, FIRE PROTECTION EQUIPMENT CONTROL ROOMS, MECHANICAL AND ELECTRICAL ROOMS, ELEVATOR CONTROLS AND EQUIPMENT SPACES, ETC.
- 14 FUTURE GLASS DISPLAY CASES BOLTED TO WALL. SHOWN DASHED FOR REFERENCE ONLY. SEE WALL SECTIONS. 9'-0" wide x 8'-0" high x 3'-0" deep.

WALL TYPE GRAPHICS

- 1-HR MIN. RATED WALL INDICATOR: METHOD OF LINE NUMBER PER WALL THICKNESS. SEE ARCHITECTURAL WALL TAGS FOR WALL TYPE, DETAIL, AND RATED FIRE RESISTANCE TO EXTEND TO INSIDERSIDE OF DECK ABOVE.
- 2-HR RATED WALL INDICATOR: METHOD OF LINE NUMBER PER WALL THICKNESS. SEE ARCHITECTURAL WALL TAGS FOR WALL TYPE, DETAIL, AND RATED FIRE RESISTANCE TO EXTEND TO INSIDERSIDE OF DECK ABOVE.
- NON-RATED WALL: METHOD OF LINE NUMBER PER WALL THICKNESS. SEE ARCHITECTURAL WALL TAGS FOR WALL TYPE, DETAIL, AND RATED FIRE RESISTANCE TO EXTEND TO INSIDERSIDE OF DECK ABOVE.
- CMU WALL: HATCH AND NUMBERED AS INDICATED WITH RATING ABOVE. SEE ARCHITECTURAL WALL TAGS FOR WALL TYPE, DETAIL, AND RATED FIRE RESISTANCE TO EXTEND TO INSIDERSIDE OF DECK ABOVE.
- CONCRETE WALL: HATCH AND NUMBERED AS INDICATED WITH RATING ABOVE. SEE ARCHITECTURAL WALL TAGS FOR WALL TYPE, DETAIL, AND RATED FIRE RESISTANCE TO EXTEND TO INSIDERSIDE OF DECK ABOVE.

WALL TYPE TAGS

- WALL TYPE
(A1, B1, etc.) - SEE TYPES BELOW
- 1-A1: 1-HR MIN. RATED WALL, 1/2" MIN. THICKNESS. INDICATES ADDITION OF SOUND BLANKETS OR INSULATION PER SPECIFICATIONS.
- MEMBER SIZES (SEE WALL TYPE DETAIL FOR SPACING):
- 1 = 1-1/2" x 5-8" STUD OR FURRING
 - 2 = 2" FURRING OR 2-1/2" STUD
 - 3 = 3-5/8" STEEL STUD / 3-1/2" WOOD STUD
 - 4 = 4" STEEL STUD / 4-1/2" WOOD STUD
 - 5 = 5" STEEL STUD / 5-1/2" WOOD STUD
 - 6 = 6" STEEL STUD / 6-1/2" WOOD STUD
 - CMU IS NOMINAL 8". FOR CONCRETE WALLS REFER TO STRUCTURAL DRAWINGS THICKNESS.

1-HR MIN. RATED WALLS

SEE WALL TAG AND STRUCTURAL DRAWINGS FOR MEMBER SIZE AND SPACING. SEE DETAILS FOR ASSEMBLY AND JOINTS.			
TYPE	DESCRIPTION	DESIGN	DETAILS
ASSEMBLY JOINTS MISC.			
A1	FIRE BARRIER, STEEL STUDS, TYPE X GYP. BD. TO UNDERSIDE OF DECK	UL U465	ASA-511 C1/A-517
A2	FIRE BARRIER, WOOD STUDS, TYPE X GYP. BD. TO UNDERSIDE OF DECK	UL U305	CBA-511 ASA-517
A3	FIRE BARRIER, WOOD STUDS, TYPE X GYP. BD. SHEATHING, CEMENT PLASTER	UL U356	ESA-511 ASA-517
A4	FIRE BARRIER, WOOD STUDS, TYPE X GYP. BD. BALLOON FRAMING ABOVE ROOF DECK	UL U305	ESA-511 ASA-517
A5	FIRE BARRIER, 8" CMU TO UNDERSIDE OF DECK	UL U905 (2HR)	ESA-511 ASA-517
A6	FIRE BARRIER, STEEL STUDS, TYPE X GYP. BD. TO UNDERSIDE OF DECK	UL U436	ASA-519 C1/A-517

2-HR RATED WALLS

SEE WALL TAG AND STRUCTURAL DRAWINGS FOR MEMBER SIZE AND SPACING. SEE DETAILS FOR ASSEMBLY AND JOINTS.			
TYPE	DESCRIPTION	DESIGN	DETAILS
ASSEMBLY JOINTS MISC.			
B1	WOOD STUDS, TYPE X GYP. BD. DENSGLASS W/ CEMENT PLASTER	UL U371	CBA-511
B2	STRUCTURAL CONCRETE SEE STRUCTURAL DWGS.	CBC TABLE 702.1(b) 4-1.1	SEE STRUCT. DWGS.
B3	CONCRETE MASONRY UNITS CMU SEE STRUCTURAL DWGS.	UL U905 (2HR)	ESA-511 ASA-517

NON-RATED WALLS

SEE WALL TAG AND STRUCTURAL DRAWINGS FOR MEMBER SIZE AND SPACING. SEE DETAILS FOR ASSEMBLY AND JOINTS.			
TYPE	DESCRIPTION	DESIGN	DETAILS
N1	WOOD STUDS AND SHEATHING PER STRUCTURAL DRAWINGS, 5/8" GYP. BD. INTERIOR, EXTERIOR FINISH PER ELEVATIONS, INSULATION WHERE INDICATED		
N2	STEEL STUDS WITH 1" MIN DEFLECTION TRACK, SIZE PER WALL TAG, 5/8" GYP. BD. E.F. INSULATION WHERE INDICATED		
N3	NOMINAL 8" CMU WALL, NON-RATED, PROVIDE MINIMUM 1" DEFLECTION AT WALL HEAD. SEE STRUCTURAL DRAWINGS FOR CMU SPECIFICATIONS.		

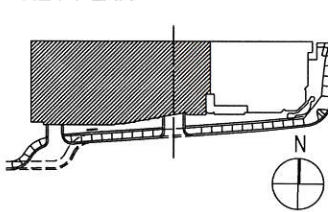
WALL TYPE NOTES:

1. ALL RATED WALL PENETRATIONS SHALL COMPLY WITH CBC SECTION 717. SEE FLOOR AND WALL PENETRATIONS SCHEDULE A-531 AND PENETRATION DETAILS SHEETS A-531 TO A-537. REFER TO MPE DRAWINGS FOR SIZE AND LOCATIONS OF ALL PENETRATIONS.
2. ALL WALL ASSEMBLIES SHALL BE EFFECTIVELY FIRESTOPPED AND DRAFTSTOPPED PER CBC SECTION 717.
3. FIRE BARRIERS AS PART OF AN EXIT PASSAGEWAY, SHIELD, ENCLOSURE OR AS INDICATED ON PLANS SHALL EXTEND FROM THE DECK OR SLAB TO THE UNDERSIDE OF THE DECK OR SLAB ABOVE PER CBC SECTION 704.
4. RATED WALLS (FIRE PARTITIONS) THAT ARE NOT PART OF THOSE ASSEMBLIES INDICATED IN NOTE #3 ABOVE MAY TERMINATE AT THE RATED HORIZONTAL ASSEMBLY PER CBC SECTION 706. THIS DOES NOT APPLY TO STRUCTURAL COLUMNS AS THEY WILL BE CONTINUOUSLY PROTECTED FROM FLOOR TO THE DECK ABOVE.
5. SEE DETAILS SHEET A-511 TO A-513 FOR RATED VERTICAL AND HORIZONTAL ASSEMBLIES AND COLUMN/BEAM PROTECTIONS.
6. MAY SUBSTITUTE 5/8" DENSGLASS FIREGUARD SHEATHING FOR GYP. BD. IN RATED ASSEMBLIES.

FLOOR PLAN NOTES

1. SEE A-400 SERIES SHEETS FOR LARGE-SCALE PLANS.
2. SEE ARCHITECTURAL SITE DRAWINGS FOR SPECIAL PAVING.
3. REFER TO CIVIL DRAWINGS FOR SLAB AND FINISH FLOOR ELEVATIONS.
4. COLUMN AND BEAM 1-HR PROTECTION. SEE DETAILS AS INDICATED ON PLANS.
5. SEE ARCHITECTURAL SITE AND LANDSCAPE DRAWINGS. COORDINATE WITH CIVIL DRAWINGS AND THESE PLANS.

KEY PLAN



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MARINER'S POINTE

WEST COAST HIGHWAY AT DOVER
NEWPORT BEACH, CA

- 03-09-12 INITIAL AGENCY SUBMITTAL
- 06-04-12 AGENCY REVISION 1
- 07-20-12 BID SET
- 08-01-12 AGENCY REVISION 2
- 11-07-12 VALUE ENGINEERING

TITLE

GARAGE FIRST LEVEL

DATE 1-16-13
SCALE AS NOTED
PROJECT NO. 10112-005
APPROVED
SHEET

A-101A

97

SHEET KEYED NOTES

- 1 CRIPPLE WALL AS BEAM FOR ROOF FRAMING. SEE STRUCTURAL DRAWINGS AND ARCHITECTURAL SECTIONS.
- 2 RAFTER BEAMS ON WOOD PLATE OVER FLAT SLAB. SEE STRUCTURAL DRAWINGS AND SECTIONS.
- 3 ELEVATOR OVERRUN DASHED BELOW.
- 4 CLASS A ROOF COVERING SYSTEM (UL 790). JOHNS MANVILLE SINGLE PLY 60 MIL, 2.29 LBS/SF, 20 YEAR MECHANICALLY FASTENED OVER INVIS-A-ROOF BOARD. COLOR TAN. TITLE 24 COMPLIANT MEETING COOL ROOF STANDARDS FOR ENERGY EFFICIENCY. INSTALLATION OF ROOFING SHALL BE IN ACCORDANCE WITH MFRS SPECIFICATIONS.
- 5 ROOF ACCESS HATCH, 1-HR RATED. SEE TYPICAL DETAIL A512.

SHEET KEYED NOTES

- 7 SLAB OPENING FOR DUCT PENETRATION. SEE MECHANICAL AND STRUCTURAL DRAWINGS.
- 8 FLAT STRUCTURAL CONCRETE ROOF WITH BUILT UP ROOF BOARD TO ACHIEVE INDICATED SLOPE.
- 9 12" WIDE CONT. SEISMIC SEPARATION. SEE DETAILS AND SECTIONS. A-310 TO A-311 AND DETAIL C5A-513.
- 10 PARAPET LADDER WITH PLATFORM. 42" HIGH GUARD RAILS EACH SIDE TYPICAL.
- 11 WALL DOES NOT TOUCH ROOF DECK. OVERFLOW UNDERNEATH.
- 12 CRICKETS AS REQUIRED TO ACHIEVE ROOF SLOPE. AS INDICATED. USE MFRS RECOMMENDED MATERIAL AND SPECIFICATION FOR ROOFING SYSTEM AS INDICATED.
- 13 NOT USED.
- 14 NOT USED.

SHEET KEYED NOTES

- 15 NOT USED.
- 16 CLASS A ROOF, TILE ROOFING. PER CBC 1506.2.
- 17 ROOF DRAIN AND OVERFLOW TYPICAL. SEE DETAIL A11MJA-515 AND PLUMBING DRAWINGS.
- 18 PRECAST WALL CAP. SEE SECTION.
- 19 TYPICAL EQUIPMENT SCREENING PANELS. GRATING TO BE TYPE A-15-4 WITH 2" X 1/8" BEARING BARS SPACED AT 1-3/16" ON CENTER, AND SWAGED CROSS BARS SPACED AT 4" ON CENTER AS PRODUCED BY GRATING PACIFIC, INC., LOS ALAMITOS, CA. ALUMINUM ALLOY 6063-T6 IS TO BE USED IN THE MANUFACTURE OF THE GRATING, AS PER ASTM B221.

WALL TYPE GRAPHICS

- 1-HR MIN. RATED WALL INDICATOR: WITH 1-HR MIN. RATED WALL THICKNESS. SEE ARCHITECTURAL WALL TAG FOR WALL TYPE, ASSEMBLY AND DETAIL. 1-HR RATED FIRE RATED TO EXCEED TO NUMBER OF DECK ABOVE.
- 2-HR RATED WALL INDICATOR: WITH 2-HR MIN. RATED WALL THICKNESS. SEE ARCHITECTURAL WALL TAG FOR WALL TYPE, ASSEMBLY AND DETAIL. 2-HR RATED FIRE RATED TO EXCEED TO NUMBER OF DECK ABOVE.
- NON-RATED WALL: WITH 0-1/2" MIN. RATED WALL THICKNESS. SEE ARCHITECTURAL WALL TAG FOR WALL TYPE, ASSEMBLY AND DETAIL. 0-1/2" MIN. RATED FIRE RATED TO EXCEED TO NUMBER OF DECK ABOVE.
- CMU WALL: WITH 0-1/2" MIN. RATED WALL THICKNESS. SEE ARCHITECTURAL WALL TAG FOR WALL TYPE, ASSEMBLY AND DETAIL. 0-1/2" MIN. RATED FIRE RATED TO EXCEED TO NUMBER OF DECK ABOVE.
- CONCRETE WALL: WITH 0-1/2" MIN. RATED WALL THICKNESS. SEE ARCHITECTURAL WALL TAG FOR WALL TYPE, ASSEMBLY AND DETAIL. 0-1/2" MIN. RATED FIRE RATED TO EXCEED TO NUMBER OF DECK ABOVE.

WALL TYPE TAGS

- WALL TYPE (A1, B1, etc.) - SEE TYPES BELOW
- 1-1/2" MIN. RATED WALL INDICATOR: WITH 1-1/2" MIN. RATED WALL THICKNESS. SEE ARCHITECTURAL WALL TAG FOR WALL TYPE, ASSEMBLY AND DETAIL. 1-1/2" MIN. RATED FIRE RATED TO EXCEED TO NUMBER OF DECK ABOVE.
- MEMBER SIZES (SEE WALL TYPE DETAIL FOR SPACING)
- 1 = 1-1/2" X 1-5/8" STUD OR FURRING
 - 2 = 2" FURRING OR 2-1/2" STUD
 - 3 = 3-1/2" STEEL STUD / 3-1/2" WOOD STUD
 - 4 = 4" STEEL STUD / 4" WOOD STUD
 - 5 = 5" STEEL STUD / 5-1/2" WOOD STUD
 - 6 = 6" STEEL STUD / 6" WOOD STUD
 - CMU IS NOMINAL 8". FOR CONCRETE WALLS REFER TO STRUCTURAL DRAWINGS THICKNESS.

1-HR MIN. RATED WALLS

SEE WALL TAG AND STRUCTURAL DRAWINGS FOR MEMBER SIZE AND SPACING. SEE DETAILS FOR ASSEMBLY AND JOINTS.					
	TYPE	DESCRIPTION	DESIGN	DETAILS	
				ASSEMBLY	MIS
A1		FIRE BARRIER, STEEL STUDS, TYPE 'X' GYP. BD. TO UNDERSIDE OF DECK	UL U465	A5A-511	C1A-517
A2		FIRE BARRIER, WOOD STUDS, TYPE 'X' GYP. BD. TO UNDERSIDE OF DECK	UL U305	C5A-511	A5A-517
A3		FIRE BARRIER, WOOD STUDS, TYPE 'X' GYP. BD., SHEATHING, CEMENT PLASTER	UL U356	E5A-511	A3A-517
A4		FIRE BARRIER, WOOD STUDS, TYPE 'X' GYP. BD., BALCONY FRAMING ABOVE ROOF DECK	UL U305	E5A-511	A3A-517
A5		FIRE BARRIER, 8" CMU TO UNDERSIDE OF DECK	UL U905 (2HR)	E5A-511	A3A-517
A6		FIRE BARRIER, STEEL STUDS, TYPE 'X' GYP. BD. TO UNDERSIDE OF DECK	UL U436	A5A-519	C1A-517

2-HR RATED WALLS

SEE WALL TAG AND STRUCTURAL DRAWINGS FOR MEMBER SIZE AND SPACING. SEE DETAILS FOR ASSEMBLY AND JOINTS.					
	TYPE	DESCRIPTION	DESIGN	DETAILS	
	B1	WOOD STUDS, TYPE 'X' GYP. BD. DENSGLASS W/ CEMENT PLASTER	UL U371	C5A-511	
	B2	STRUCTURAL CONCRETE SEE STRUCTURAL DWGS.	CGC TABLE 720.1(B) 4-1.1	D4A-511	SEE STRUCT. DWGS.
	B3	CONCRETE MASONRY UNITS (CMU) SEE STRUCTURAL DWGS.	UL U905 (2HR)	E5A-511	A3A-517

NON-RATED WALLS

SEE WALL TAG AND STRUCTURAL DRAWINGS FOR MEMBER SIZE AND SPACING. SEE DETAILS FOR ASSEMBLY AND JOINTS.	
TYPE	DESCRIPTION
N1	WOOD STUDS AND SHEATHING PER STRUCTURAL DRAWINGS, 5/8" GYP. BD. INTERIOR, EXTERIOR FINISH PER ELEVATIONS, INSULATION WHERE INDICATED
N2	STEEL STUDS WITH 1" MIN DEFLECTION TRACK. SIZE PER WALL TAG, 5/8" GYP. BD. E.F. INSULATION WHERE INDICATED
N3	NOMINAL 8" CMU WALL, NON-RATED. PROVIDE MINIMUM 1" DEFLECTION AT WALL HEAD. SEE STRUCTURAL DRAWINGS FOR CMU SPECIFICATIONS.

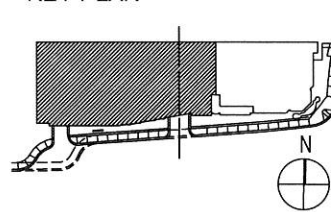
WALL TYPE NOTES:

1. ALL RATED WALL PENETRATIONS SHALL COMPLY WITH CBC SECTION 705. SEE FLOOR AND WALL PENETRATIONS DETAIL C5A-511 AND PENETRATION DETAILS SHEETS A-531 TO A-537. REFER TO MPE DRAWINGS FOR SIZE AND LOCATIONS OF ALL PENETRATIONS.
2. ALL WALL ASSEMBLIES SHALL BE EFFECTIVELY FIRE STOPPED AND DRAFT STOPPED PER CBC SECTION 717.
3. FIRE BARRIERS AS PART OF AN EXIT PASSAGEWAY, SHIELD, ENCLOSURE OR AS INDICATED ON PLAN SHALL EXTEND FROM THE DECK OR SLAB TO THE UNDERSIDE OF THE DECK OR SLAB ABOVE PER CBC SECTION 706.
4. RATED WALLS (FIRE PARTITIONS) THAT ARE NOT PART OF THOSE ASSEMBLIES INDICATED IN NOTE #3 ABOVE MAY TERMINATE AT THE RATED HORIZONTAL ASSEMBLY PER CBC SECTION 708. THIS DOES NOT APPLY TO STRUCTURAL COLUMNS AS THEY WILL BE CONTINUOUSLY PROTECTED FROM FLOOR TO THE DECK ABOVE.
5. SEE DETAILS SHEET A511 TO A513 FOR RATED VERTICAL AND HORIZONTAL ASSEMBLIES AND COLUMN BEAM PROTECTIONS.
6. MAY SUBSTITUTE 5/8" DENSGLASS FIREGUARD SHEATHING FOR GYP. BD. IN RATED ASSEMBLIES.

FLOOR PLAN NOTES

1. SEE A-400 SERIES SHEETS FOR LARGE-SCALE PLANS.
2. SEE ARCHITECTURAL SITE DRAWINGS FOR SPECIAL PAVING.
3. REFER TO CIVIL DRAWINGS FOR SLAB AND FINISH FLOOR ELEVATIONS.
4. COLUMN AND BEAM 1-HR PROTECTION. SEE DETAILS AS INDICATED ON PLANS.
5. SEE ARCHITECTURAL SITE AND LANDSCAPE DRAWINGS. COORDINATE WITH CIVIL DRAWINGS AND THESE PLANS.

KEY PLAN



WINSTON'S JEWELERS
C/O VBA'S PROPERTIES, INC.
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COSTA, CA 92627

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CONSTRUCTION
PLANNING REVIEW

MARINER'S POINTE

WEST COAST HIGHWAY AT DOVER
NEWPORT BEACH, CA

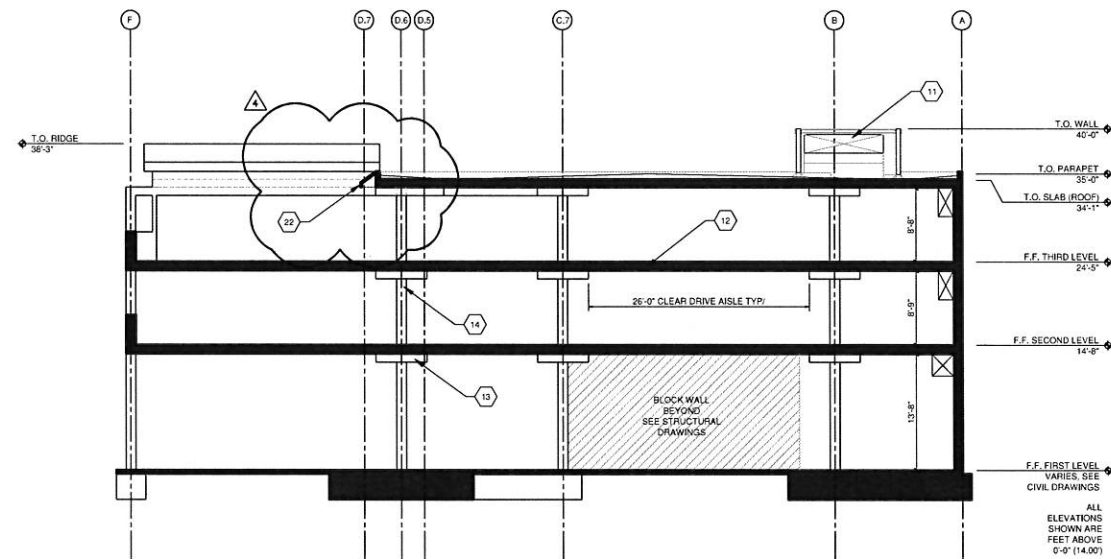
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- 06-04-12 AGENCY REVISION 1
- 07-20-12 BID SET
- 08-01-12 AGENCY REVISION 2
- 11-07-12 VALUE ENGINEERING

TITLE

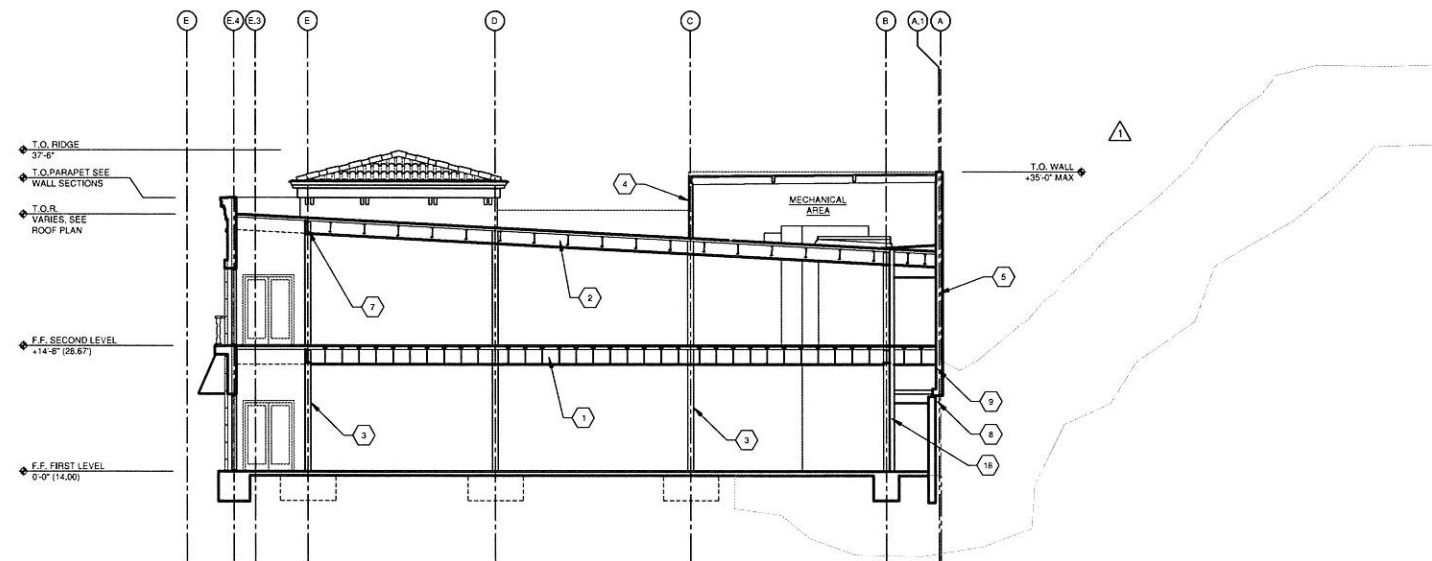
GARAGE ROOF

- DATE 1-16-13
- SCALE AS NOTED
- PROJECT NO. 10112-005
- APPROVED
- SHEET

A-104A



1 BUILDING SECTION - GARAGE
1/8" = 1'-0"



2 BUILDING SECTION - RETAIL
1/8" = 1'-0"

SHEET KEYED NOTES

- 1 1-HR RATED FLOOR / CEILING ASSEMBLY. SEE FIRE RATED ASSEMBLY DETAIL A-11 / A-111.
- 2 1-HR RATED ROOF / CEILING ASSEMBLY. SEE FIRE RATED ASSEMBLY DETAIL B-1 / A-111.
- 3 1-HR FIRE PROTECTION OF ALL STRUCTURAL COLUMNS. SEE FIRE RATED ASSEMBLY DETAIL A-111.
- 4 MECHANICAL SCREENING. SEE 1-A-204 FOR ELEVATION.
- 5 2-HR RATED EXTERIOR WALL. SEE PLAN WALL TAGS AND WALL ASSEMBLY DETAIL C-5 / A-111.
- 6 1-HR RATED ROOF. SEE RATED ASSEMBLY DETAIL B-1 / A-111 AND ROOF PLAN FOR ROOFING SPECIFICATION.
- 7 1-HR RATED PROTECTION OF ALL BEAMS. SEE FIRE RATED ASSEMBLY DETAIL A-112.
- 8 RETAINING WALL. SEE CIVIL AND STRUCTURAL DRAWINGS.
- 9 GAP BETWEEN FRAMED WALL AND RETAINING WALL TOP. SEE WALL SECTIONS, EXTERIOR ELEVATIONS AND C-1 / A-111.
- 10 1-HR RATED VERTICAL SH-RAFT. SEE PLANS AND MECHANICAL DRAWINGS.
- 11 GARAGE EXHAUST DUCT ENCLOSURE. SEE ROOF PLAN, ELEVATIONS AND DETAILS.
- 12 GARAGE PLAT STRUCTURAL CONCRETE POST TENSIONED SLAB. SEE STRUCTURAL DRAWINGS.
- 13 TYPICAL COLUMN DROP PANEL. SEE PLANS AND STRUCTURAL DRAWINGS. MUST NOT ENDOURCH EXCEEDABLE HEIGHTS.
- 14 STRUCTURAL CONCRETE COLUMN.
- 15 SHEAR WALL BEYOND. SEE STRUCTURAL DRAWINGS.
- 16 ROOF FRAMED OVER CONCRETE ROOF SLAB. SEE PLANS AND WALL SECTIONS.
- 17 PERGOLA. SEE ELEVATIONS, DETAILS AND ROOF PLAN.
- 18 1-HR INTERIOR WALL TYPICAL. SEE WALL ASSEMBLY TYPES AND DETAILS.
- 19 UNOCCUPIED ATTICE SPACE ACCESS. SEE ROOF PLAN.
- 20 GARAGE EXHAUST DUCTING. SEE PLANS AND MECHANICAL DRAWINGS. MAINTAIN CLEARANCES AT PARKING STALLS.
- 21 SUSPENDED CEMENT PLASTER CEILING BELOW PARKING AREAS. SEE REFLECTED CEILING PLAN AND WALL SECTIONS.
- 22 FABRIC AWNING. SEE ELEVATIONS FOR COLOR AND TYPE.

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MARINER'S POINTE

WEST COAST HIGHWAY AT DOVER
NEWPORT BEACH, CA

03-08-12	INITIAL AGENCY SUBMITTAL
06-04-12	AGENCY REVISION 1
07-20-12	BID SET
11-07-12	VALUE ENGINEERING

TITLE

BUILDING SECTIONS

DATE	1-16-13
SCALE	AS NOTED
PROJECT NO.	10112-005
APPROVED	
SHEET	

A-304

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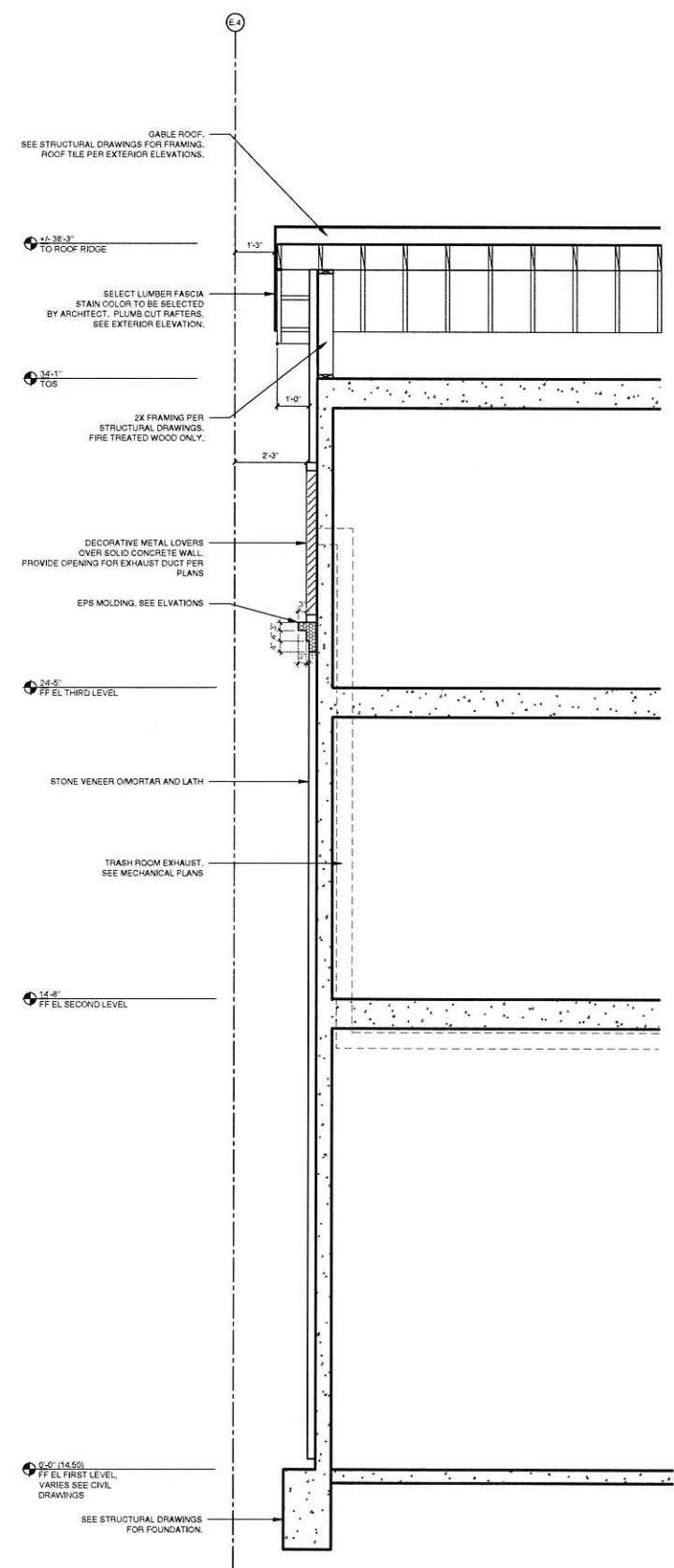
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MARINER'S POINTE
WEST COAST HIGHWAY AT DOVER
NEWPORT BEACH, CA

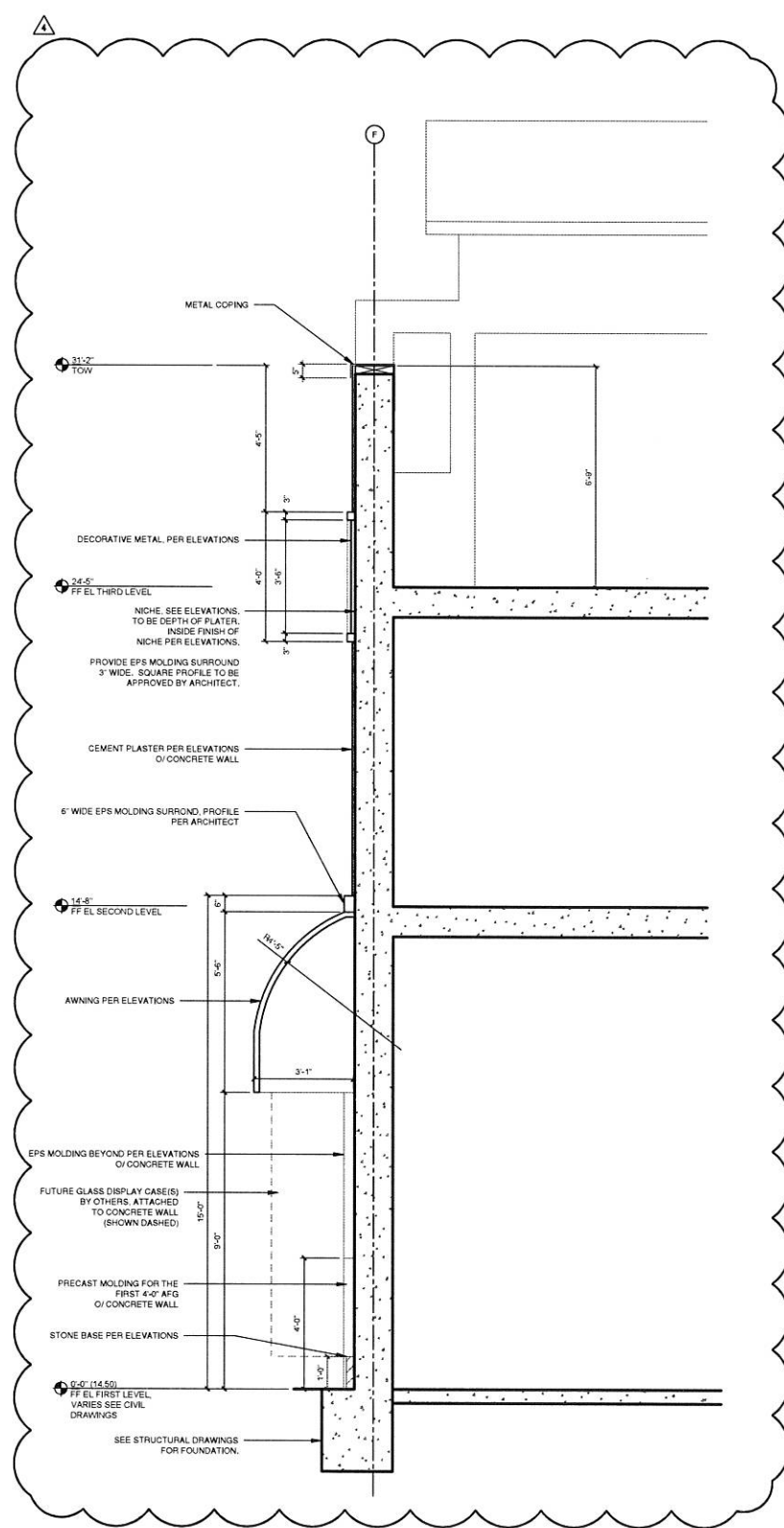
03-09-12	INITIAL AGENCY SUBMITTAL
07-20-12	BID SET
11-07-12	VALUE ENGINEERING

TITLE	
WALL SECTIONS GARAGE	
DATE	1-16-13
SCALE	AS NOTED
PROJECT NO.	10112-005
APPROVED	
SHEET	

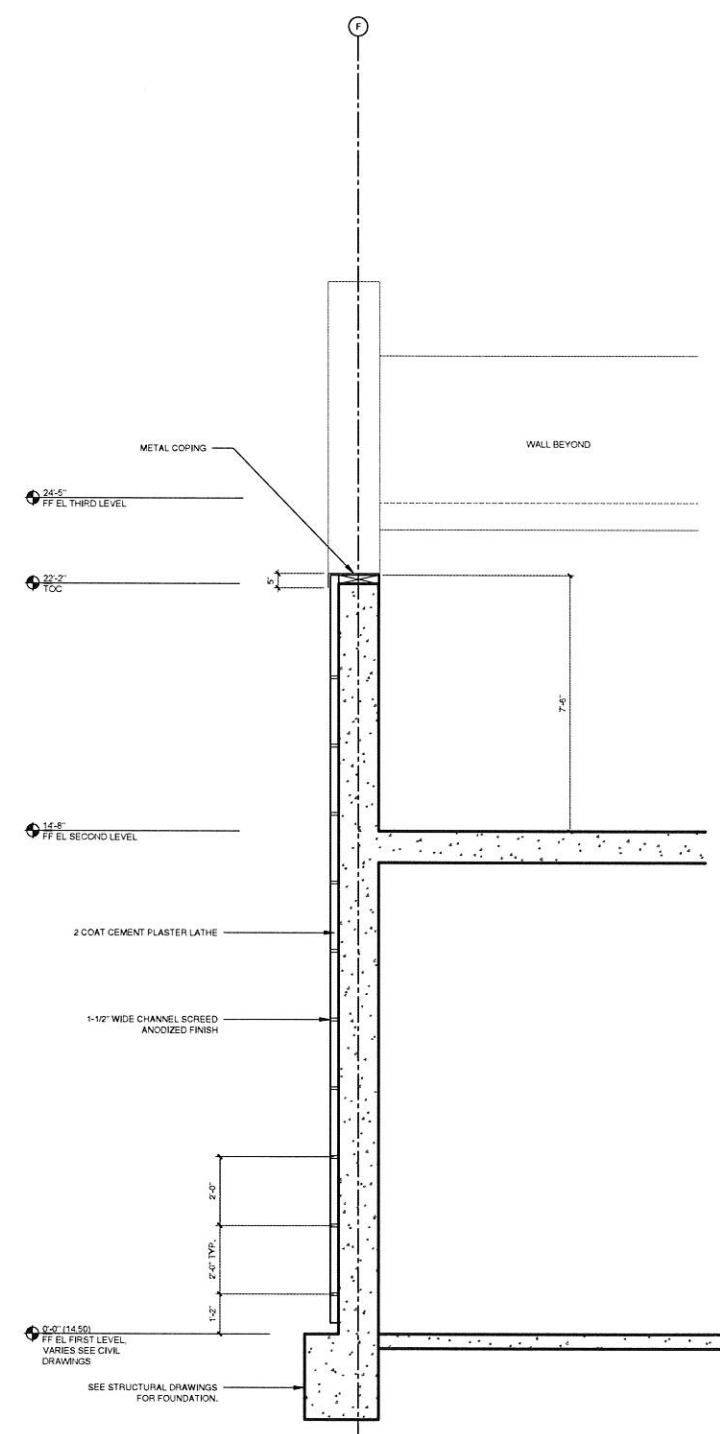
A-306A



1 WALL SECTION
1/2" = 1'-0"



2 WALL SECTION
1/2" = 1'-0"



3 WALL SECTION
1/2" = 1'-0"

Attachment No. PC 8

Colored Renderings of Proposed
Revisions



December 8, 2012

Mariner's Pointe

West Coast Highway at Dover
 Newport Beach, CA
 WINSTON'S JEWELERS c/o VBAS Properties, Inc
 18582 Beach Boulevard, Suite 226
 Huntington Beach, CA 92648

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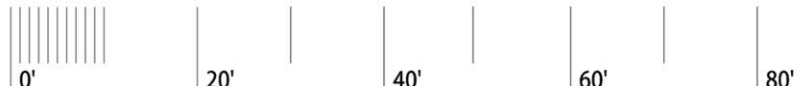


Flower Display Cases



South Elevation

January 16, 2013



Mariner's Pointe

West Coast Highway at Dover Newport Beach, CA
 WINSTON'S JEWELERS c/o VBAS Properties, Inc
 18582 Beach Boulevard, Suite 226 Huntington Beach, CA 92648

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 Architects and Planners
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Attachment No. PC 9

June 7, 2012 Final Approved Landscaping
Plan

LANDSCAPE ARCHITECTURAL DRAWINGS for
MARINER'S POINTE
WEST COAST HIGHWAY. at DOVER
NEWPORT BEACH, CA

SPECIFIC PLAN NOTES

PROJECT PLAN APPROVED BY SITE PLAN REVIEW # 2009 - 02

GENERAL NOTES:

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY DISCREPANCIES.
2. CONTRACTOR SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION AND SHALL BE HELD LIABLE FOR ALL DAMAGE INCURRED DURING CONSTRUCTION.
3. CONTRACTOR SHALL OBTAIN A CURRENT STRUCTURAL SOILS REPORT. THIS SOILS REPORT SHALL SUPERSEDE THE RECOMMENDATIONS AND DETAILS SHOWN ON THESE PLANS AND SPECIFICATIONS.
4. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL SLEEVES AS INDICATED ON THE IRRIGATION PLANS WITH PAVING CONTRACTOR.
5. REFER TO SPECIFICATIONS FOR ACCEPTED STANDARDS OF MATERIALS AND WORKMANSHIP.
6. ALL FORMS AND ALIGNMENT OF HARDSCAPE ITEMS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO POURING. (CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT A MINIMUM OF 48 HOURS PRIOR TO THE INSPECTION.)
7. CONTRACTOR SHALL NOT WILLFULLY PROCEED WITH CONSTRUCTION AND/OR GRADE DIFFERENCES WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND/OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNERS AUTHORIZED REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATIONS.
8. THE LOCATION OF FEATURES TO BE CONSTRUCTED, NOT SPECIFICALLY DIMENSIONED, MAY BE DETERMINED BY SCALE. VERIFY ALL SUCH CONDITIONS WITH OWNERS NOTIFICATION.
9. ALL CURVE-TO-CURVE AND CURVE-TO-TANGENT LINES SHALL BE NEAT, TRIM, SMOOTH, AND UNIFORM.
10. ALL CONSTRUCTION AND INSTALLATION OF LANDSCAPE ITEMS SHALL BE PER LOCAL CODES AND ORDINANCES.
11. CONTRACTOR SHALL FULLY GUARANTEE ALL WORK FOR A ONE-YEAR PERIOD FROM OWNERS ACCEPTANCE OF WORK.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR WEED ABATEMENT DURING THE CONTRACTORS MAINTENANCE PERIOD.
13. THE LANDSCAPE CONTRACTOR IS TO ENSURE THAT IRRIGATION AND DRAIN LINES ARE LOCATED AND INSTALLED SO THAT THE MATERIALS SHOWN ON THE PLANTING PLANS CAN BE ACCOMMODATED.
14. IF ANY CONCRETE WORK SHOWN ON THESE PLANS ADJUTS WOOD SIDING ON BUILDINGS, INSTALL GALVANIZED METAL FLASHING TO PROTECT WOOD SIDING.
15. THE CONTRACTOR SHALL VERIFY ALL MEASUREMENTS AND SHALL BE RESPONSIBLE FOR THE PROPER INSTALLATION REFERENCED IN THE PLANS AND SPECIFICATIONS. ANY CONSTRUCTION NOT MEETING THE APPROVAL OF THE OWNER OR THE LANDSCAPE ARCHITECT SHALL BE REPLACED AT THE CONTRACTORS EXPENSE WITH ACCEPTABLE CONSTRUCTION.
16. ALL DIMENSIONS SHALL BE VERIFIED AGAINST EXISTING CONDITIONS AND ANY DISCREPANCIES REPORTED TO THE OWNERS REPRESENTATIVE.

MAINTENANCE RESPONSIBILITY NOTE:

OWNER WILL BE RESPONSIBLE TO MAINTAIN ALL LANDSCAPE AREAS WITHIN THE LIMIT OF WORK SHOWN ON THESE PLANS.

UNDERGROUND SERVICE ALERT

CALL TOLL FREE: 1-800-422-4133
TWO WORKING DAYS BEFORE YOU DIG



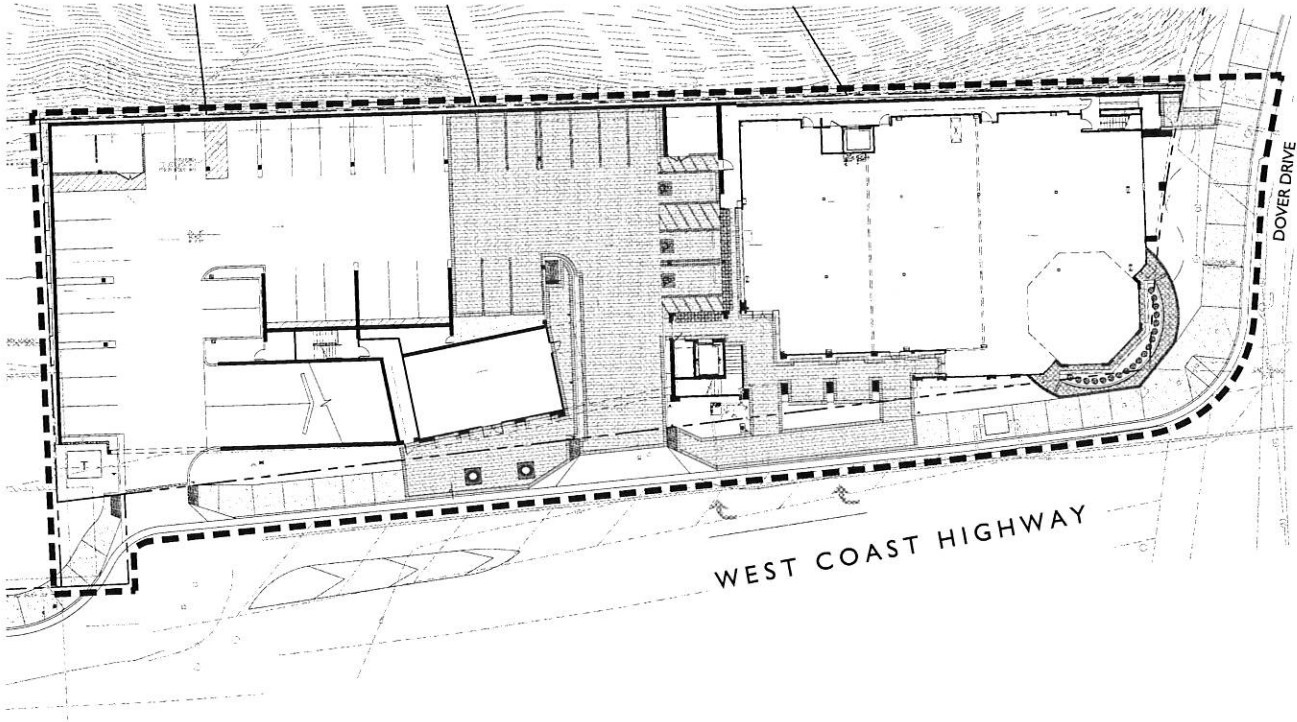
ABBREVIATIONS

ARCH.	ARCH-TECT	ID	INSIDE DIAMETER
B.S.	(ARCHITECTURAL)	INV.	INVERT (ELEVATION)
C.B.	BOTTOM OF STEPS	L.A.	LANDSCAPE ARCHITECT
C.F.	CATCH BASIN	LP	LOW POINT
C.L.	CURB FACE	MAX.	MAXIMUM
C.L.	COLD JOINT	MIN.	MINIMUM
C.L.	CENTERLINE	N.I.C.	NOT IN CONTRACT
CHU	CONCRETE MASONRY UNIT	N.T.S.	NOT TO SCALE
C.O.	CLEAN OUT	O.C.	ON CENTER
COMP.	COMPACTED	P.A.	PLANTING AREA
CONC.	CONCRETE	PERF.	PERFORATED
CONT.	CONTINUOUS	POC	POINT OF CONNECTION
DIA.	DIAMETER	R	CONNECTION RADIUS
EA	EACH	REBAR	REINFORCING BAR
EJ	EXPANSION JOINT	SIM.	SIMILAR
F.F.E.	FRESH FLOOR ELEVATION	S.L.	SCORE LINE
F.G.	FINISH GRADE	SQ.	SQUARE
FOS	FACE OF STRUCTURE	T.C.	TOP OF CURB
F.L.	FLOW LINE	T.G.	TOP OF GRATE
F.S.	FINISH SURFACE	T.S.	TOP OF STEPS
FTG.	FOOTING	TYP.	TYPICAL
G.C.	GROUND COVER	VERT.	VERTICAL
HORIZ.	HORIZONTAL	W/	WITH
HP	HIGH POINT	W/O	WITHOUT
		W.W.M.	WELDED WIRE MESH

NOTES:

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF MJS DESIGN GROUP (A CALIFORNIA CORPORATION) AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY WRITTEN AUTHORIZATION FROM MJS DESIGN GROUP. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VIEWED ON THE JOB SITE AND ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF MJS DESIGN GROUP PRIOR TO COMMENCEMENT OF ANY WORK.

NOTES

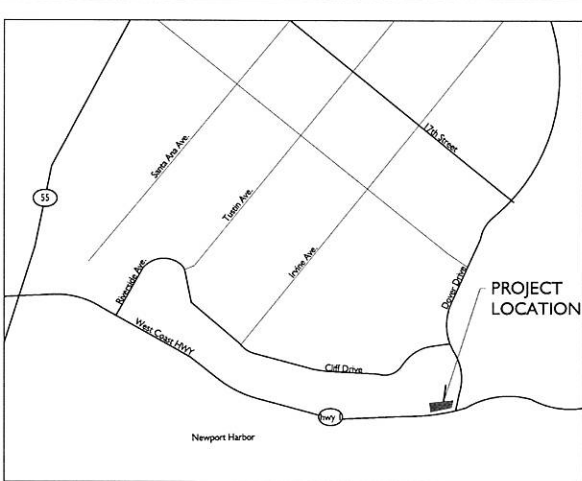


KEY MAP

SCALE: N.T.S.

LT.1
LC.1
LC.2
LC.3 thru LC.4
LC.5
LI.1
LI.2
LI.3
LI.4
LP.1
LP.2
LP.3
LP.4
LP.5

TITLE SHEET
LANDSCAPE CONSTRUCTION PLAN
CONSTRUCTION NOTES and FINISH SCHEDULE
LANDSCAPE CONSTRUCTION DETAILS
LANDSCAPE IRRIGATION PLANS
IRRIGATION LEGEND, NOTES and CALCULATIONS
IRRIGATION DETAILS
IRRIGATION SPECIFICATIONS
TREE, VINE and TURF PLANS
SHRUB PLANS
PARKING GARAGE PLANTING PLAN
PLANTING DETAILS
PLANTING SPECIFICATIONS



NOT TO SCALE

VICINITY MAP

OWNER

OWNER:
VBAS PROPERTIES
18582 BEACH BOULEVARD
HUNTINGTON BEACH, CA
92648

CLIENT:
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ELECTRICAL ENGINEER:
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CONTACT: MATT WALLER

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PLANNING DEPARTMENT
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FAX: 949.644.3229

GOVERNING AGENCIES

Issued For:	
3.26.12	1st CITY SUBMITTAL
5.29.12	PLANNING COMMISSION
Revisions:	
6.04.12	AGENCY REVISION
8.01.12	AGENCY REVISION #2



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Landscape Architecture

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PROJECT:

**MARINER'S
POINTE**

WEST COAST HIGHWAY
AT DOVER
NEWPORT BEACH, CA

CLIENT:

**V.B.A.S.
PROPERTIES Inc.**

18582 BEACH BOULEVARD
HUNTINGTON BEACH, CA
92648

Stamp:



Job No.:

Drawn By: MJS

Checked By: MJS

Plan Date: AUGUST 1, 2012

Scale: N/A

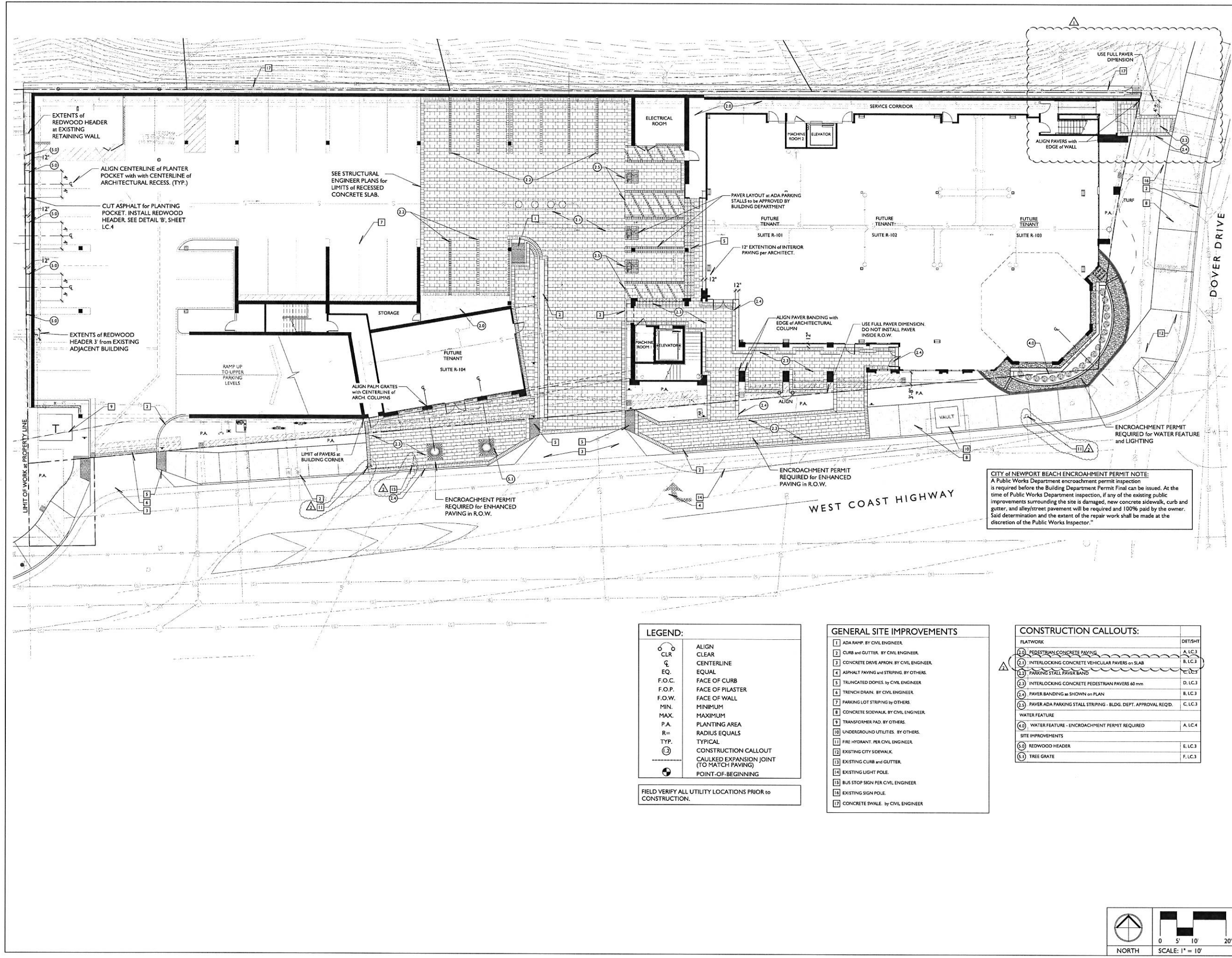
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SHEET**

Sheet No.:

LT.1

Plan Status:
PERMIT/CONSTRUCTION
DOCUMENTS



LEGEND:

○ CLR	ALIGN
□ EQ	CLEAR
— F.O.C.	CENTERLINE
— F.O.P.	EQUAL
— F.O.W.	FACE OF CURB
— MIN.	FACE OF PILASTER
— MAX.	FACE OF WALL
— P.A.	MINIMUM
— R=	MAXIMUM
— TYP.	PLANTING AREA
②	RADIUS EQUALS
—	TYPICAL
—	CONSTRUCTION CALLOUT
—	CAULKED EXPANSION JOINT
—	(TO MATCH PAVING)
—	POINT-OF-BEGINNING

FIELD VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION.

- GENERAL SITE IMPROVEMENTS**
- 1 ADA RAMP, BY CIVIL ENGINEER.
 - 2 CURB and GUTTER, BY CIVIL ENGINEER.
 - 3 CONCRETE DRIVE APRON, BY CIVIL ENGINEER.
 - 4 ASPHALT PAVING and STRIPING, BY OTHERS.
 - 5 TRUNCATED DORIES, BY CIVIL ENGINEER.
 - 6 TRENCH DRAIN, BY CIVIL ENGINEER.
 - 7 PARKING LOT STRIPING, BY OTHERS.
 - 8 CONCRETE SIDEWALK, BY CIVIL ENGINEER.
 - 9 TRANSFORMER PAD, BY OTHERS.
 - 10 UNDERGROUND UTILITIES, BY OTHERS.
 - 11 FIRE HYDRANT, PER CIVIL ENGINEER.
 - 12 EXISTING CITY SIDEWALK.
 - 13 EXISTING CURB and GUTTER.
 - 14 EXISTING LIGHT POLE.
 - 15 BUS STOP SIGN PER CIVIL ENGINEER.
 - 16 EXISTING SIGN POLE.
 - 17 CONCRETE SWALE, BY CIVIL ENGINEER.

CONSTRUCTION CALLOUTS:	
FLATWORK	DET/SH/T
10 PEDESTRIAN CONCRETE PAVING	A, LC.3
11 INTERLOCKING CONCRETE VEHICULAR PAVERS on SLAB	B, LC.3
12 PARKING STALL PAVEMENT BAND	C, LC.3
13 INTERLOCKING CONCRETE PEDESTRIAN PAVERS 60 mm	D, LC.3
14 PAVEMENT BANDING as SHOWN on PLAN	B, LC.3
15 PAVEMENT ADA PARKING STALL STRIPING - BLDG. DEPT. APPROVAL REQ'D.	C, LC.3
WATER FEATURE	
16 WATER FEATURE - ENCROACHMENT PERMIT REQUIRED	A, LC.4
SITE IMPROVEMENTS	
17 REDWOOD HEADER	E, LC.3
18 TREE GRATE	F, LC.3

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PROJECT:
MARINER'S POINTE

WEST COAST HIGHWAY
AT DOVER
NEWPORT BEACH, CA

CLIENT:
V.B.A.S. PROPERTIES Inc.

18582 BEACH BOULEVARD
HUNTINGTON BEACH, CA
92648

Stamp:

Job No.: -

Drawn By: MJS

Checked By: MJS

Plan Date: AUGUST 1, 2012

Scale: 1" = 10'

Title:
LANDSCAPE CONSTRUCTION PLAN

Sheet No.:
LC.1

Plan Status:
PERMIT/CONSTRUCTION DOCUMENTS

NORTH
SCALE: 1" = 10'

CONSTRUCTION NOTES

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNERS REPRESENTATIVE OF ANY DISCREPANCIES.
2. CONTRACTOR SHALL NOT WILFULLY PROCEED WITH CONSTRUCTION WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND / OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNERS AUTHORIZED REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATIONS.
3. CONTRACTOR SHALL OBTAIN A CURRENT STRUCTURAL SOILS REPORT. THIS SOILS REPORT SHALL SUPERSEDE THE RECOMMENDATIONS AND DETAILS SHOWN ON THESE PLANS AND SPECIFICATIONS.
4. THE LOCATION OF FEATURES TO BE CONSTRUCTED, NOT SPECIFICALLY DIMENSIONED MAY BE DETERMINED BY SCALE. VERIFY ALL SUCH CONDITIONS WITH OWNERS REPRESENTATIVE.
5. ALL CURVE-TO-CURVE AND CURVE-TO-TANGENT LINES SHALL BE NEAT, TRIM, SMOOTH, AND UNIFORM.
6. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL SLEEVES AS INDICATED ON THE IRRIGATION PLANS WITH PAVING CONTRACTOR.
7. ALL FORMS AND ALIGNMENT OF LANDSCAPE ITEMS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO POURING. (CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT A MINIMUM OF 48 HOURS PRIOR TO THE INSPECTION.)

PAVER NOTES:

1. PAVER SHALL BE CLEAN AND FREE FROM FOREIGN MATERIALS BEFORE INSTALLATION.
2. INSTALLATION SHOULD START FROM A CORNER OR STRAIGHT EDGE AND PROCEED FORWARD OVER THE UNDISTURBED SAND LAYING COURSE.
3. PAVING WORK SHALL BE PLUMB, LEVEL, AND TRUE TO LINE GRADE; SHALL BE INSTALLED PROPERLY, COINCIDE AND ALIGN, WITH ADJACENT WORK AND ELEVATIONS.
4. PAVING STONES SHOULD BE INSTALLED HAND TIGHT ON THE UNDISTURBED SAND LAYING COURSE. STRING LINES SHOULD BE USED TO HOLD PATTERN LINES TRUE.
5. GAPS BETWEEN THE EDGE OF THE PAVER SURFACE SHALL BE FILLED WITH STANDARD PAVERS OR WITH PAVERS CUT TO FIT. CUT PAVERS SHOULD BE NO SMALLER THAN ONE THIRD THE SIZE OF FULL PAVERS. CARE SHOULD BE TAKEN WHEN ESTABLISHING THE LAYING PATTERN TO INSURE THAT LESS THAN ONE THIRD PAVERS ARE MININIZED.
6. PAVERS ARE SET INTO THE SAND LAYING COURSE BY ROLLER OR PLATE VIBRATOR CAPABLE OF 3,000 TO 5,000 COMPACTION FORCE. VIBRATION SHALL BE CONDUCTED IN CROSSING PATHS UNTIL THE PAVEMENT SURFACE IS SMOOTH AND REQUIRED ELEVATION IS ACHIEVED. GAPS BETWEEN PAVERS SHOULD AT THIS POINT SHOULD BE FILLED TO ABOUT TWO THIRDS OF THE PAVERS FULL HEIGHT. GAPS BETWEEN EDGES SHOULD BE NO MORE THAN 3/16" WIDE AFTER VIBRATION. GAPS GREATER THAN 3/16" SUGGEST THAT LESS THAN SATISFACTORY INTERLOCK WILL BE ACHIEVED. PAVERS WITHIN THREE FEET OF UNRESTRAINED EDGES MUST NOT BE COMPACTED.
7. ONCE PAVERS ARE VIBRATED INTO PLACE. CLEAN, DRY SAND SHALL BE BROOMED OVER THE PAVEMENT SURFACE AND VIBRATED ONCE MORE INTO THE REMAINING UNFILLED GAPS BETWEEN PAVERS TO THE HEIGHT OF THE JOINT BEVEL. SURPLUS SAND SHOULD BE SWPT FROM THE PAVEMENT SURFACE AND DISPOSED OF.
8. THE COMPLETED PAVING STONE INSTALLATION SHOULD BE WASHED DOWN AND CLEANED TO PROVIDE A CLEAN FINISHED WORKMANLIKE INSTALLATION.

LIST OF INSPECTIONS

THE CONTRACTOR SHALL CONTACT THE OWNERS REPRESENTATIVE 48 HOURS IN ADVANCE OF, AND COORDINATE, THE FOLLOWING INSPECTIONS (BUT NOT LIMITED TO):

1. PRE-JOB CONFERENCE.
2. AT COMPLETION OF FINISH GRADING.
3. LAYOUT OF SHOVEL CUTS BUT PRIOR TO INSTALLATION.
4. LAYOUT OF PAVING BUT PRIOR TO INSTALLATION.
5. LAYOUT OF WALLS AND PILASTERS BUT PRIOR TO INSTALLATION.
6. DURING ENTIRE IRRIGATION INSTALLATION TO VERIFY AND INSPECT THE FOLLOWING (BUT NOT LIMITED TO):
- a. POINT OF CONNECTIONS
- b. BACKFLOW PREVENTION DEVICES
- c. TRENCHING FOR PIPES
- d. ELECTRICAL CONNECTIONS
- e. CONTROL VALVES
- f. COVERAGE
7. AT DELIVERY OF ALL PLANT MATERIALS TO THE SITE.
8. WHEN TREES AND SHRUBS ARE SPACED FOR PLANTING BUT BEFORE HOLES ARE EXCAVATED.
9. AT PRE-MAINTENANCE INSPECTION.
10. AT FINAL INSPECTION.

CONCRETE PAVING NOTES

1. THE CONTRACTOR SHALL VERIFY WITH PROJECT STRUCTURAL SOILS ENGINEER THE NEED FOR REINFORCING, BASE MATERIALS, PRESATURATION, AND OTHER REQUIREMENTS FOR PAVING AREAS.
2. ALL CONCRETE PAVING SECTIONS SHALL BE A MINIMUM OF 3 1/2" THICK UNLESS OTHERWISE NOTED.
3. PAVING AND CONCRETE CONTRACTOR(S) SHALL COORDINATE HIS WORK WITH ELECTRICIAN, DRAIN LINE CONTRACTOR AND IRRIGATION CONTRACTOR FOR SLEEVING, PIPING, AND CONDUIT UNDER ALL PAVING AS REQUIRED.
4. THE CONTRACTOR SHALL HOLD FINISH GRADE (1") INCH BELOW FINISH SURFACE.
5. THE CONTRACTOR SHALL SLOPE ALL FINISH SURFACE AREAS A MINIMUM OF ONE PERCENT, UNLESS NOTED OTHERWISE.
6. ALL WALKS SHALL HAVE CROSS FALL OF ONE PERCENT MINIMUM.
7. REFER TO FINISH SCHEDULE FOR CONCRETE FINISH.
8. ALL WALK INTERSECTIONS SHALL BE 90 DEGREES UNLESS NOTED OTHERWISE.
9. ALL RADII AT WALK INTERSECTIONS SHALL BE 36" UNLESS NOTED OTHERWISE.
10. FULL DEPTH EXPANSION JOINTS ARE TO BE SPACED AT MAXIMUM 20' O.C., SCORE LINES TO BE MAXIMUM 10' O.C.
11. ALL FORMS AND ALIGNMENT OF PAVING SHALL BE INSPECTED AND CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT A MINIMUM OF 48 HOURS PRIOR TO INSPECTION.
12. REFER TO PRECISE GRADING PLAN FOR FINISH GRADES AND DRAINAGE.

FOUNTAIN NOTES

1. THE FOUNTAIN KIT SHALL BE INSTALLED IN CONFORMANCE WITH GOVERNING CODES AND ORDINANCES, AND MANUFACTURERS SPECIFICATIONS AND INSTRUCTIONS.
2. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL SPECIFIED EQUIPMENT.
3. THE CONTRACTOR SHALL CLEAN, SERVICE AND MAINTAIN THE FOUNTAIN AND EQUIPMENT FOR A MINIMUM OF 60 DAYS.
4. THE CONTRACTOR SHALL PROVIDE OWNER/DEVELOPER OR H.O.A. WITH ALL SERVICE MANUALS, CATALOGS, ETC. FOR EQUIPMENT PROVIDED AND INSTALLED.
- SUPPLIER:
- SLEEVING AND SERVICE PROVISIONS SHALL BE COORDINATED WITH ALL OTHER APPROPRIATE CONTRACTORS.

SYMBOL	ITEM	MANUFACTURER/SUPPLIER	COLOR	FINISH	COMMENTS
FLATWORK					
(2.0)	NATURAL GRAY CONCRETE PAVING with SAW CUTS PER PLAN	N/A	NATURAL GRAY	ACID ETCH (SEE COMMENTS)	APPLY TOPCAST WASH RETARDER (03 ACID ETCH FINISH) AVAILABLE THRU GRACE CONST. PRODUCTS OR EQUAL 877-433-4491 WITH WHITE IMPREGNATING SEALER. CONTRACTOR TO PROVIDE CUT SHEET TO L.A. FOR APPROVAL.
(2.1) (2.3) (2.4)	FIELD: COMBED-STONE 5 PIECE 60mm at PEDESTRIAN 5 PIECE 80mm at VEHICULAR BANDING: 8" x 12" PAVER BANDING	ACKERSTONE CONTACT: MIKE MILLARD 949.241.6669	COLORS (FIELD): TALEGA BLEND - FACE MIX PAVER BANDING: COLOR: MOCHA	NO C-HAMFER LIGHT SHOT BLAST NO C-HAMFER LIGHT SHOT BLAST	PATTERN: RANDOM ASHLAR for FIELD FLAT TOP/NO CHAMFER INSTALL CLASS 2 ROAD BASE SAND SET SEAL WITH SURBOND S8 1300 OR EQUAL JOINT SAND-LOGICAL RESOURCE POLYMERIC OR EQUAL
(2.5)	ADA PARKING STALL PAVER KIT 48" x 48" x 80mm	ACKERSTONE CONTACT: MIKE MILLARD 949.241.6669	SEE DETAIL 'C', SHEET LC.3	NO C-HAMFER LIGHT SHOT BLAST	PATTERN: SEE DETAIL 'C', SHEET LC.3 FLAT TOP/NO CHAMFER INSTALL CLASS 2 ROAD BASE SAND SET SEAL WITH SURBOND S8 1300 OR EQUAL JOINT SAND-LOGICAL RESOURCE POLYMERIC OR EQUAL
(2.3)	4" x 4" x 80mm COMBO STONE STANDARD STALL STRIPING BAND	ACKERSTONE CONTACT: MIKE MILLARD 949.241.6669	SIZE: 4" x 4" (COMBO STONE) THICKNESS: 80mm COLOR: MOCHA	NO C-HAMFER LIGHT SHOT BLAST	PATTERN: SEE DETAIL 'C', SHEET LC.3 FLAT TOP/NO CHAMFER INSTALL CLASS 2 ROAD BASE SAND SET SEAL WITH SURBOND S8 1300 OR EQUAL JOINT SAND-LOGICAL RESOURCE POLYMERIC OR EQUAL
SITE FURNISHINGS					
(4.0)	METAL TREE GRATE KEVA 5' x 5'	URBAN ACCESSORIES 877.487.0488 AVAILABLE THRU: RECREATION REPUBLIC CONTACT: SUZANNE ANDERSON 760.846.1980	CAST IRON	RAW CAST IRON	



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POINTE

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CLIENT:

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18582 BEACH BOULEVARD
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Scale: SEE DETAIL

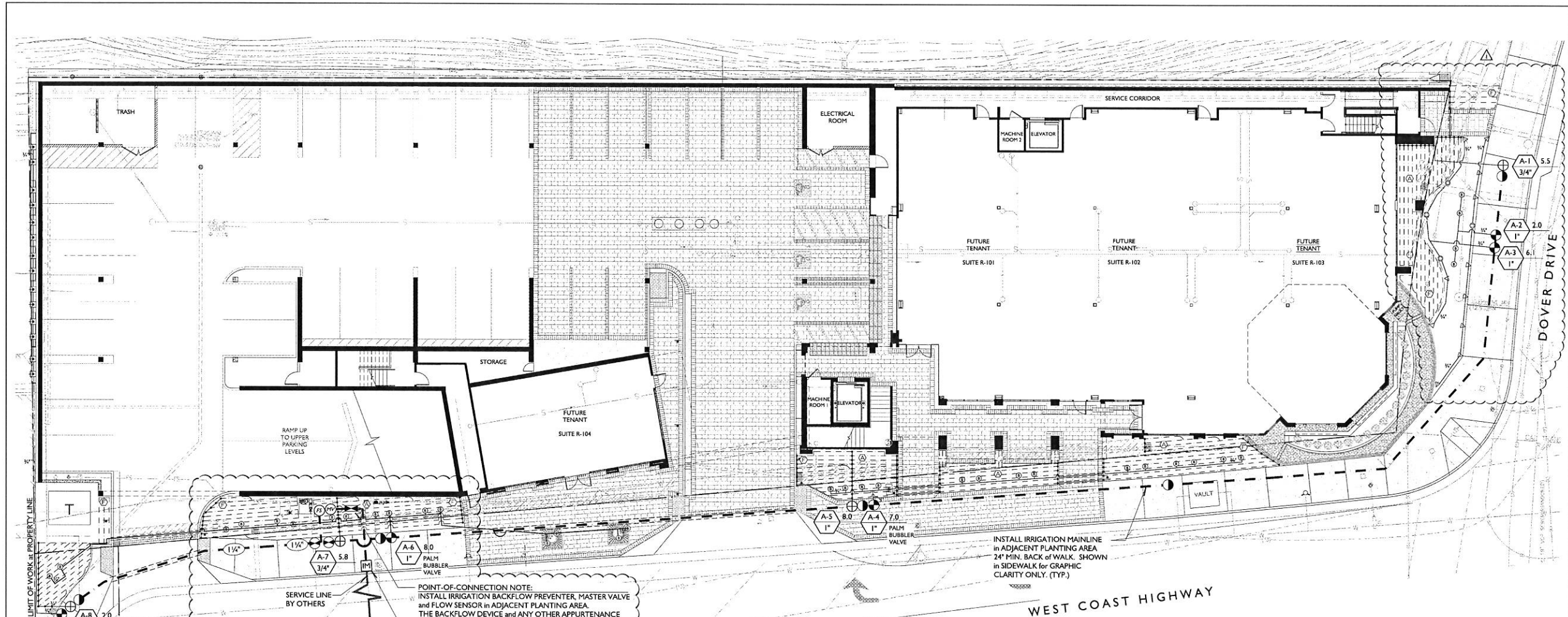
Title:

CONSTRUCTION
NOTES and
FINISH SCHEDULE

Sheet No.:

LC.2

Plan Status:
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POINT-OF-CONNECTION NOTE:
INSTALL IRRIGATION BACKFLOW PREVENTER, MASTER VALVE and FLOW SENSOR in ADJACENT PLANTING AREA. THE BACKFLOW DEVICE and ANY OTHER APPURTENANCE ARE TO BE SCREENED with PLANT MATERIAL.
1" DEDICATED LANDSCAPE METER. SEE CIVIL ENGINEERING PLANS for LOCATION.

INSTALL IRRIGATION MAINLINE in ADJACENT PLANTING AREA 24" MIN. BACK OF WALK. SHOWN in SIDEWALK for GRAPHIC CLARITY ONLY. (TYP.)

IRRIGATION LEGEND

SYMBOL/NOZZLE		G.P.M./NOZZLE						
Q	H F	MANUF.	MODEL NO. / DESCRIPTION	PSI	Q	H	F	RAD

IRRIGATION SPRAY HEADS

△	△	TORO	570Z-6-PRX-COM-Q-10 Q.H. - POP-UP TURF SPRAY	30	0.17	0.34	0.68	6'-8"
○	○	TORO	570Z-4-PRX-COM-Q-10 Q.H. - POP-UP TURF SPRAY	30	0.26	0.51	1.03	8'-10"
⊙	⊙	TORO	570Z-4-PRX-COM-Q-12 Q.H. - POP-UP TURF SPRAY	30	0.37	0.74	1.48	10'-12"

IRRIGATION BUBBLER HEADS

⊙	RAINBIRD	RWS-B-C-1400-04 ROOT WATERING SYSTEM or APPROVED EQUAL (2 BUBBLERS per TREE)	30	0.50				0'
⊙	RAINBIRD	1400 SERIES BUBBLERS on RISER.	30	1.0				0'-2'

IRRIGATION UTILITIES

M	WATER METER	1" DEDICATED LANDSCAPE METER and SERVICE LINE by OTHERS
FEBCO 825Y	1" BACKFLOW PREVENTION UNIT - TO BE INSTALLED in STRONG BOX ENCLOSURE SBBC-LOW PROFILE SMOOTH TOUCH, POWDER COATED COLOR GREEN.	
WILKINS KING BROS.	GATE VALVE - BLOCKED TRUE UNION PVC - 2" & SMALLER (LOCATE in PLANTING AREAS - SHOWN FOR CLARITY ONLY)	
RAINBIRD	33-LRC 1/2" QUICK COUPLER VALVE with LOCKING RUBBER CAP	
RAINBIRD	PEB SERIES - PLASTIC INDUSTRIAL ELECTRIC REMOTE CONTROL VALVE (SIZE AS SHOWN ON PLAN)	
RAINBIRD	1" MASTER VALVE - PEB SERIES	
RAINBIRD	1" FLOW SENSOR - FS100	

IRRIGATION CONTROLLER

RAINBIRD	ESP-100E WALL MOUNT CONTROLLER with RAINBIRD WEATHER SMART ET MANAGER and NECESSARY ACCESSORIES. WEATHER REACH SIGNAL PROVIDER 1 (B77)-351-4588. ALLOW TWO EXTRA AVAILABLE STATIONS MIN. INCLUDING MASTER VALVE STATION.	
NO SYMBOL	RAINBIRD	WR2-KC WIRELESS RAIN SENSOR. INSTALL per MANUFACTURERS SPECIFICATIONS.
⊕	120 VOLT ELECTRICAL POWER for CONTROLLER	PROVIDED BY ELECTRICIAN. FIELD VERIFY ACTUAL LOCATION.

SUBSURFACE IRRIGATION

RAINBIRD	XCZ-075, -100, -150-B-COM REMOTE CONTROL VALVE KIT with PRESSURE REGULATOR
NETAFIM	NETAFIM TECHLINE-CV and TECHFILTER with 0.60 GPH EMITTERS 12" ON CENTER. ALL TUBING SHALL BE INSTALLED 4" BELOW FINISHED SOIL GRADE w/ 9" WIRE STAKES FIVE (5) FEET ON CENTER. VERIFY THE LAYOUT and 12" SPACING in the FIELD PRIOR to STARTING WORK. INSTALL and MAINTAIN SURFACE DRY SYSTEM per MANUFACTURERS SPECIFICATIONS.
NETAFIM	NETAFIM FITTINGS for CONNECTION BETWEEN PVC LATERAL LINES and NETAFIM TUBING
AS APPROVED	SUPPLY/EXHAUST PVC HEADER. SIZE per LEGEND SEE BELOW.
NETAFIM	TECHLINE CV MANUAL LINE FLUSH VALVE - PROVIDE SCH 40 OR SCH 80 SOLVENT-WELD BALL VALVE FOR FLUSH OFF OF PVC EXHAUST MANIFOLD PIPESIZE PER PLAN). INSTALL FLUSH VALVE INSIDE 6" ROUND VALVE BOX. ONE AT THE END OF ANY TECHLINE CV LATERAL or PVC EXHAUST HEADER. INSTALL MINIMUM OF ONE FLUSH VALVE PER MAXIMUM OF 800' OF TUBING. MULTIPLE FLUSH VALVES MAY BE REQUIRED WITHIN TECHLINE-CV LAYOUT. ALWAYS INSTALL VALVES in OPPOSITE DIRECTIONS OF THE PVC/COMP CONNECTION MANIFOLD.
RAINBIRD	ARV-100 AIR/VACUUM RELIEF VALVE INSTALLED WITH A FT-650 COMBINATION TEE AND A 3/4" x 1/2" REDUCER BUSHING. INSTALL AIR RELIEF ASSEMBLY INSIDE A 6" ROUND VALVE BOX AT THE HIGH POINT OF EACH PLANTER. MIN. 1' AROUND 500' OF DISTRIBUTION TUBING. USING AIR RELIEF LATERAL. CONNECT AIR RELIEF VALVE TO ALL TECHLINE LATERALS WITHIN THE ELEVATED AREA.
	MULTIPLE ARVS SHALL BE REQUIRED PER ROW WITHIN UNFLATTENING AREAS. VERIFY QUANTITY PRIOR TO STARTING WORK. FLUSH VALVES and AIR RELIEF VALVES SHOWN DIAGRAMMATICALLY. INSTALL VALVE BOX 18" FROM PAVING AND AT HIGH POINTS OF PLANTER AREA. INSTALL ALL AIR VACUUM RELIEF EQUIPMENT per MANUFACTURERS SPECIFICATIONS.

IRRIGATION PIPING

AS APPROVED NON-PRESSURE LATERAL PVC PIPE SCH. 40 FOR SIZES 3/4" - 2" 1/2" PVC SCH. 40 FITTINGS - BURY MIN. 12" BELOW GRADE (SIZE AS NOTED ON PLAN).

AS APPROVED PRESSURE MAINLINE SCH. 40 PVC IN PLANTER AREA FOR SIZES 3/4" - 1 1/2", FOR 2" & LARGER USE CLASS 315 PVC. BURY MIN. 18" BELOW GRADE (SIZE AS NOTED ON PLAN).

AS APPROVED PVC PIPE SCH. 40 SLEEVING, TWICE THE DIAMETER OF PIPE OR WIRE BUNDLE CARRIED - EXTEND 12" BEYOND EDGE OF PAVING & PLACE BELOW ALL PAVING, HARDSCAPE, ETC., AND AS DIRECTED BY OWNERS AUTHORIZED REPRESENTATIVE.

NO SYMBOL AS APPROVED INSTALL CONCRETE THRUST BLOCK on ALL ANGLED MAINLINE

VALVE KEY:

VALVE NUMBER	GPM
A-9	23.18
1"	VALVE SIZE

TECHLINE SUPPLY/EXHAUST LATERAL PIPE SIZING:

ZONE FLOW	PIPE SIZE
0 - 5 GPM	TECHLINE TUBING or 1/2" PVC
5 - 8 GPM	3/4" PVC
8.1 - 13 GPM	1" PVC
13.1 - 22 GPM	1 1/4" PVC
22.1 - 30 GPM	1 1/2" PVC

REFERENCE NOTES:
FOR GENERAL IRRIGATION NOTES & CALCULATIONS SEE SHEET LI.2
FOR ESTIMATED WATER USE & SCHEDULE SEE SHEET LI.2
FOR IRRIGATION DETAILS SEE SHEETS LI.3
FOR IRRIGATION SPECIFICATIONS SEE SHEET LI.4

CITY of NEWPORT BEACH MUNICIPAL CODE 14.17 - WATER ORDINANCE NOTE
THE IRRIGATION SYSTEM WAS DESIGNED to MEET THE REQUIREMENTS of THE CITY of NEWPORT BEACH MUNICIPAL CODE 14.17 WATER EFFICIENT LANDSCAPE ORDINANCE.

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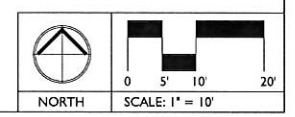
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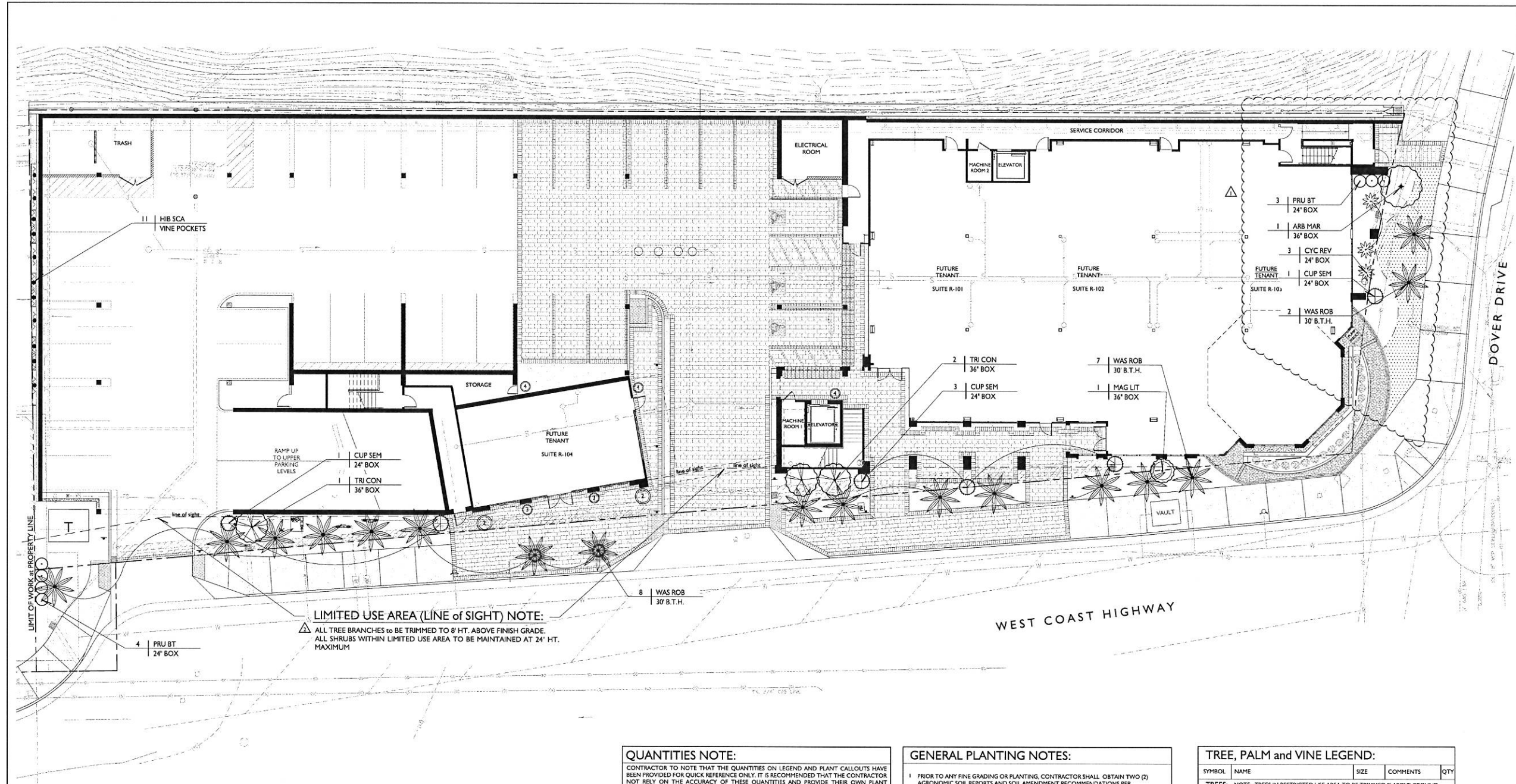
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LANDSCAPE IRRIGATION PLAN

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POT and PLANT SCHEDULE					
SYMBOL	QTY	DESCRIPTION	FINISH	AVAILABLE FROM	PLANT MATERIAL (PER POT)
1	SEE SHEET LP.3	PLANTING and POTTERY SCHEDULE at UPPER LEVEL PARKING.			
2	2	WILSHIRE PLANTER 45" X 48" QR-W54548P - LC	CR-TI MISSION WHITE MATTE SEALER	QUICKCRETE ATTN: BRIAN GOTZ 714.309.6564	1 - 36" BOX OLEA SWAN HILL - FRUITLESS OLIVE 6 - 1 GAL ADONIS MARINUS HUNTINGTON CARPET 6 - 4" POTS PELAGONUM X DOMESTICUM BRIGHT RED
3	2	SAVANNAH 28"x32" Q5-SAV2832P - LC	CR-TI CHARCOAL GRAY MATTE SEALER	QUICKCRETE ATTN: BRIAN GOTZ 714.309.6564	1 - 24" BOX LIGULSTRUM PYRAMID TOPIARY 4" POTS SEASONAL COLOR
4	3	GREENFIELD ROUND 20"x45" QR-GF2045P LITE CRETE	CR-TI CHARCOAL GRAY MATTE SEALER	QUICKCRETE ATTN: BRIAN GOTZ 714.309.6564	1 - 20 GAL RHAPHIS EXCELSA - LADY FINGER PALM 6 - 6" POTS HANGING COMMON IVY

POTS TO RECEIVE SELF-WATERING LINERS. AVAILABLE FORM: TOTAL # OF TREES IN POTS: 5

PLANTER IRRIGATION NOTE:
* ALL POTS TO RECEIVE SELF WATERING SYSTEM. CWI CLASSIC BY PLANTER TECHNOLOGY (AVAIL. THRU. TOURNESOL) OR EQUAL. SEE SELF-IRRIGATION SYSTEM DETAILS SHEET LP.3)

QUANTITIES NOTE:
CONTRACTOR TO NOTE THAT THE QUANTITIES ON LEGEND AND PLANT CALLOUTS HAVE BEEN PROVIDED FOR QUICK REFERENCE ONLY. IT IS RECOMMENDED THAT THE CONTRACTOR NOT RELY ON THE ACCURACY OF THESE QUANTITIES AND PROVIDE THEIR OWN PLANT MATERIAL COUNTS AT THE TIME OF PREPARING BID. ANY DISCREPANCY IN THE PLANT QUANTITIES AND SIZES SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT.

TREE ROOT BARRIER NOTE:
ROOT BARRIERS ARE REQUIRED WHERE TREES ARE PLANTED LESS THAN FIVE (5) FEET OF SIDEWALK, WALLS, BUILDINGS, STRUCTURES, CURBS, PAVING, PUBLIC IMPROVEMENTS WITHIN R.O.W. (TYP.). WATER, SEWER, STORM DRAIN, ETC. ROOT BARRIER SHALL BE INSTALLED AT HARDSCAPE EDGE WITH PERCOLATION TESTS OR UTILIZE STRUCTURAL SOIL. BARRIER SHALL BE THE LENGTH OF THE ULTIMATE CANOPY OF THE TREE.

TREE PLACEMENT NOTE:
CONTRACTOR TO LOCATE ALL DRAINLINES IN FIELD PRIOR TO THE INSTALLATION OF TREES AND PALMS. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICT WITH TREE LOCATIONS WITH STORM DRAIN LINES.

TREE STAKING NOTE:
ALL TRISTANIA CONFERTA AND ITALIAN CYPRESS TO BE STAKED WITH (2) 20" LONG GALVANIZED METAL POLES NON-THEADED. PAINTED BASALT GREEN.

AGRONOMIC SOILS REPORT NOTE:
CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING TWO (2) AGRONOMIC SOIL TESTS AND INSTALL PLANT MATERIAL PER REPORT AND SOIL RECOMMENDATIONS. LOCATIONS OF TESTS TO BE WEST COAST HIGHWAY AND DOVER DRIVE.

STREET TREE REQUIREMENT
PER MARINER'S POINTE SPECIFIC PLAN REQUIREMENTS
WEST COAST HIGHWAY FRONTAGE: 203 L.F.
MIN. PALMS REQUIRED: 1-24" BOX per 25 L.F.: 8 PALMS REQUIRED
15 PALMS PROVIDED

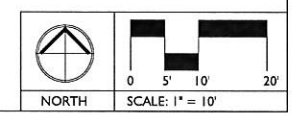
LIMITED USE AREA (LINE OF SIGHT) NOTE:
ALL TREE BRANCHES TO BE TRIMMED TO 8' HT. ABOVE FINISH GRADE.
ALL SHRUBS WITHIN LIMITED USE AREA TO BE MAINTAINED AT 24" HT. MAXIMUM.

- GENERAL PLANTING NOTES:**
- PRIOR TO ANY FINE GRADING OR PLANTING, CONTRACTOR SHALL OBTAIN TWO (2) AGRONOMIC SOIL REPORTS AND SOIL AMENDMENT RECOMMENDATIONS PER SPECIFICATIONS, WHICH SHALL SUPERSEDE THOSE WITHIN THE SPECIFICATIONS.
 - LANDSCAPE ARCHITECT TO APPROVE ALL PLANT MATERIAL NOT LESS THAN 1 WEEK PRIOR TO ANTICIPATED DELIVERY DATE.
 - CONTRACTOR SHALL REMOVE ALL GROWER STAKES, TAGS AND RIBBONS.
 - LANDSCAPE CONTRACTOR SHALL MAINTAIN PROPER DRAINAGE AND DIRECT ALL WATER TO DRAINAGE INLETS SO AS TO PREVENT STANDING WATER.
 - THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTED AREAS FOR A PERIOD OF 90 DAYS AFTER "START OF MAINTENANCE" PERIOD.
 - CONTRACTOR SHALL GUARANTEE SHRUBS FOR 6 MONTHS AND TREE MATERIAL FOR 12 MONTHS (1 YEAR).
 - LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIAL PLACEMENT PRIOR TO INSTALLATION.
 - NO TREES/PALM SHALL BE PLANTED CLOSER THAN 5' TO A BUILDING OR ROOF STRUCTURE. NO TREES SHALL BE PLANTED CLOSER THAN 5' TO PAVING OR FREESTANDING WALLS UNLESS DIRECTED BY THE LANDSCAPE ARCHITECT.
 - TREES SHALL NOT BE PLANTED WHERE FUTURE GROWTH WILL OBVIOUSLY CONFLICT WITH ROOF OVERHANGS.
 - NO SHRUBS OR TREES SHALL BE PLANTED THAT WILL CREATE A VISUAL OBSTRUCTION TO SIGHT LINE OF VEHICLE TRAFFIC.
 - TREES PLANTED IN LANDSCAPE AREAS OF LESS THAN 5' IN WIDTH SHALL BE INSTALLED WITH APPROVED ROOT BARRIERS.
 - ANY PLANTING SHOWN ON THE PLANS OR EXISTING IN THE FIELD THAT CONTRADICTS THESE CRITERIA IS TO BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO DO SO MAY RESULT IN THE CONTRACTOR TO REMOVE OR RELOCATE PLANT MATERIAL.

REFERENCE NOTES:
FOR PLANTING DETAILS SEE SHEET LP.4
FOR PLANTING SPECIFICATIONS SEE SHEET LP.5

LANDSCAPE MAINTENANCE NOTE:
ALL LANDSCAPING TO BE MAINTAINED BY PROPERTY OWNER INCLUDING ALL PLANTS INSIDE THE RIGHT-OF-WAY.

TREE, PALM and VINE LEGEND:				
SYMBOL	NAME	SIZE	COMMENTS	QTY
TREES: NOTE: TREES IN RESTRICTED USE AREA TO BE TRIMMED 8' ABOVE GROUND				
ARB MAR	ARBUS MARINA' ARBUS	36" BOX	STANDARD	1
CUP SEM	CUPRESSUS SEMPERVIRENS ITALIAN CYPRESS	24" BOX	SEE NOTE BELOW FOR STAKING	6
MAG GRA	MAGNOLIA G. 'LITTLE GEM' SOUTHERN MAGNOLIA	36" BOX	STANDARD	1
PRU BT	PRUNUS C. 'BRIGHT & TIGHT' CAROLINA CHERRY	24" BOX	COLUMN	7
TRI CON	TRISTANIA CONFERTA BRISBANE BOX	36" BOX	LOW BRANCH	3
PALMS:				
WAS ROB	WASHINGTONIA 'HYBRID' ROBUSTA x FILIPERAFAN PALM	20' B.T.H.	MATCH HEIGHTS SKINNED TRUNKS	17
CYC REV	CYCAS REVOLUTA SAGO PALM	24" BOX	MULTI	3
VINES:				
	BOUGAINVILLEA SAN DIEGO RED BOUGAINVILLEA	15 GAL	STAKED ATTACH TO PALMS IN TREE WELLS	2
	HIBBERTIA SCANDENS GUINEA GOLD VINE	15 GAL	STAKED AND ATTACH TO GREEN SCREEN at WEST WALL	2
SODDED TURF (340 SF):				
	MARATHON 116 SODDED TURF AVAILABLE FROM SOUTHLAND SOD FARMS OR EQUAL AS APPROVED BY THE LANDSCAPE ARCHITECT.			
	ALL SHRUB AREAS		1" - 1" FOREST FLOOR BARK MULCH (2" THICK) AVAILABLE THROUGH AGUINAGA FERTILIZER COMPANY (949) 786-9558 OR APPROVED EQUAL - SUBMIT SAMPLES TO L.A. FOR APPROVAL	



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Revisions:	
6.04.12	AGENCY REVISION
8.01.12	AGENCY REVISION #2

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PROJECT:
MARINER'S POINTE

WEST COAST HIGHWAY
AT DOVER
NEWPORT BEACH, CA

CLIENT:
V.B.A.S. PROPERTIES Inc.

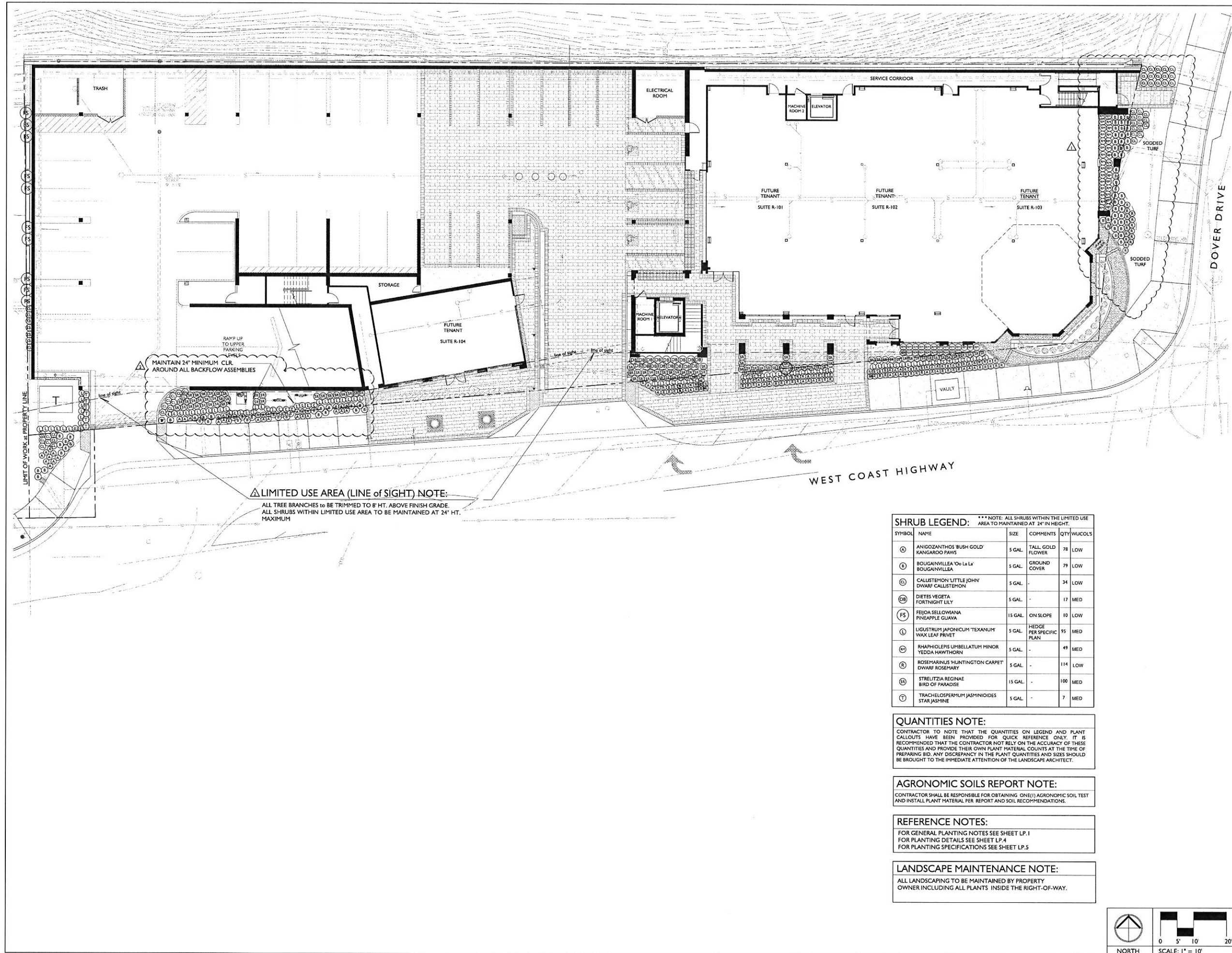
18582 BEACH BOULEVARD
HUNTINGTON BEACH, CA
92648

Stamp:

Job No.: -
Drawn By: MJS
Checked By: MJS
Plan Date: AUGUST 1, 2012
Scale: 1" = 10'
Title:

TREE, PALM, VINE & TURF PLAN

Sheet No.:
LP.1
Plan Status: PERMIT/CONSTRUCTION DOCUMENTS



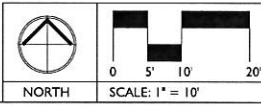
SHRUB LEGEND: *** NOTE: ALL SHRUBS WITHIN THE LIMITED USE AREA TO MAINTAINED AT 24\"/>				
SYMBOL	NAME	SIZE	COMMENTS	QTY WUCOLS
(A)	ANIGOZANTHOS BUSH GOLD' KANGAROO PAWS	5 GAL	TALL GOLD FLOWER	78 LOW
(B)	BOUGAINVILLEA 'Oo La La' BOUGAINVILLEA	5 GAL	GROUND COVER	79 LOW
(C)	CALLISTEMON 'LITTLE JOHN' DWARF CALLISTEMON	5 GAL	-	34 LOW
(DB)	DIETES VEGETA FORTNIGHT LILY	5 GAL	-	17 MED
(FS)	FEIJOA SELLOWIANA PINEAPPLE GUAVA	15 GAL	ON SLOPE	10 LOW
(L)	LIGUSTRUM JAPONICUM 'TEXANUM' WAX LEAF PRIVET	5 GAL	HEDGE PER SPECIFIC PLAN	95 MED
(M)	RHAPHIOLEPIS UMBELLATUM MINOR YEDDA HAWTHORN	5 GAL	-	49 MED
(R)	ROSEMARINUS 'HUNTINGTON CARPET' DWARF ROSEMARY	5 GAL	-	114 LOW
(SA)	STRELITZIA REGINAE BIRD OF PARADISE	15 GAL	-	100 MED
(T)	TRACHELOSPERMUM JASMINOIDES STAR JASMINE	5 GAL	-	7 MED

QUANTITIES NOTE:
CONTRACTOR TO NOTE THAT THE QUANTITIES ON LEGEND AND PLANT CALLOUTS HAVE BEEN PROVIDED FOR QUICK REFERENCE ONLY. IT IS RECOMMENDED THAT THE CONTRACTOR NOT RELY ON THE ACCURACY OF THESE QUANTITIES AND PROVIDE THEIR OWN PLANT MATERIAL COUNTS AT THE TIME OF PREPARING BID. ANY DISCREPANCY IN THE PLANT QUANTITIES AND SIZES SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT.

AGRONOMIC SOILS REPORT NOTE:
CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ONE(1) AGRONOMIC SOIL TEST AND INSTALL PLANT MATERIAL PER REPORT AND SOIL RECOMMENDATIONS.

REFERENCE NOTES:
FOR GENERAL PLANTING NOTES SEE SHEET LP.1
FOR PLANTING DETAILS SEE SHEET LP.4
FOR PLANTING SPECIFICATIONS SEE SHEET LP.5

LANDSCAPE MAINTENANCE NOTE:
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Plan Date: AUGUST 1, 2012
Scale: 1" = 10'
Title:
SHRUB PLANTING PLAN
Sheet No.:
LP.2
Plan Status:
PERMIT/CONSTRUCTION DOCUMENTS

Attachment No. PC 10

Proposed Revisions to Landscape Plan

[illegible]

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GENERAL NOTES:

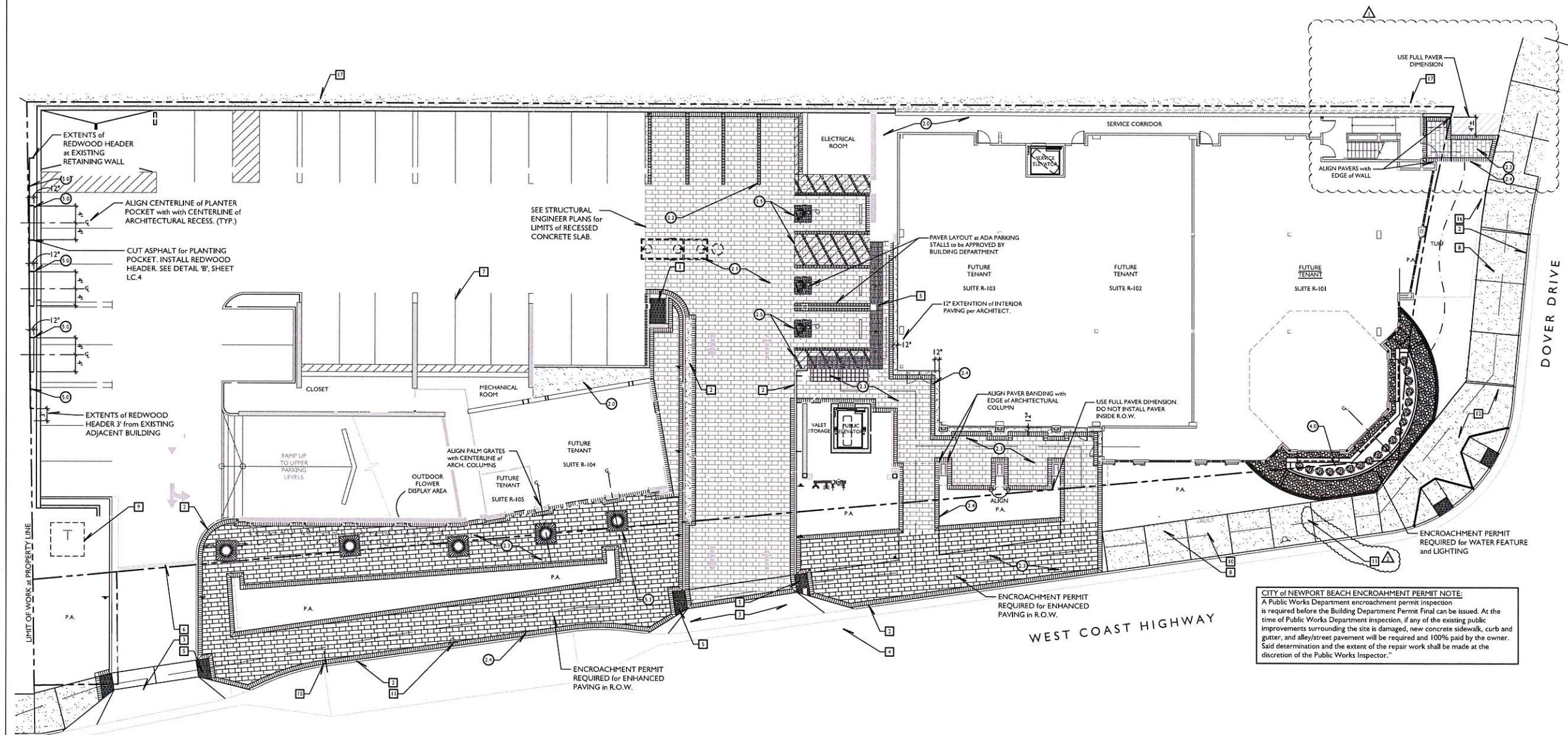
SHEET INDEX








JECT
ATION

GOVERNING AGENCIES

117



LEGEND:	
	ALIGN CLEAR
	CENTERLINE EQUAL
F.O.C.	FACE OF CURB
F.O.P.	FACE OF PILASTER
F.O.W.	FACE OF WALL
MIN.	MINIMUM
MAX.	MAXIMUM
P.A.	PLANTING AREA
R=	RADIUS EQUALS
TYP.	TYPICAL
	CONSTRUCTION CALLOUT
	CAULKED EXPANSION JOINT (TO MATCH PAVING)
	POINT-OF-BEGINNING

FIELD VERIFY ALL UTILITY LOCATIONS PRIOR TO CONSTRUCTION.

CONSTRUCTION CALLOUTS:		
	FLATWORK	DET/SHIT
10	PEDESTRIAN CONCRETE PAVING	A. LC.3
11	INTERLOCKING CONCRETE VEHICULAR PAVERS on SLAB	B. LC.3
12	PARKING STALL PAVES BAND	C. LC.3
13	INTERLOCKING CONCRETE PEDESTRIAN PAVERS 60 mm	D. LC.3
14	PAVER BANDING as SHOWN on PLAN	B. LC.3
15	PAVER ADA PARKING STALL STRIPING - BLDG. DEPT. APPROVAL REQ'D.	C. LC.3
WATER FEATURE		
16	WATER FEATURE - ENCRoACHMENT PERMIT REQUIRED	A. LC.4
SITE IMPROVEMENTS		
17	REDWOOD HEADER	E. LC.3
18	TREE GRATE	F. LC.3

CONSTRUCTION NOTES

1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE OF ANY DISCREPANCIES.
2. CONTRACTOR SHALL NOT WILFULLY PROCEED WITH CONSTRUCTION WHEN IT IS OBVIOUS THAT UNKNOWN OBSTRUCTIONS AND / OR GRADE DIFFERENCES EXIST THAT MAY NOT HAVE BEEN KNOWN DURING DESIGN. SUCH CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S AUTHORIZED REPRESENTATIVE. THE CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL NECESSARY REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATIONS.
3. CONTRACTOR SHALL OBTAIN A CURRENT STRUCTURAL SOILS REPORT. THIS SOILS REPORT SHALL SUPERSEDE THE RECOMMENDATIONS AND DETAILS SHOWN ON THESE PLANS AND SPECIFICATIONS.
4. THE LOCATION OF FEATURES TO BE CONSTRUCTED, NOT SPECIFICALLY DIMENSIONED MAY BE DETERMINED BY SCALE. VERIFY ALL SUCH CONDITIONS WITH OWNERS REPRESENTATIVE.
5. ALL CURVE-TO-CURVE AND CURVE-TO-TANGENT LINES SHALL BE NEAT, TRIM, SMOOTH, AND UNIFORM.
6. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL SLEEVES AS INDICATED ON THE IRRIGATION PLANS WITH PAVING CONTRACTOR.
7. ALL FORMS AND ALIGNMENT OF HARDSCAPE ITEMS SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO POURING. (CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT A MINIMUM OF 48 HOURS PRIOR TO THE INSPECTION.)

PAVER NOTES:

1. PAVER SHALL BE CLEAN AND FREE FROM FOREIGN MATERIALS BEFORE INSTALLATION.
2. INSTALLATION SHOULD START FROM A CORNER OR STRAIGHT EDGE AND PROCEED FORWARD OVER THE UNDISTURBED SAND LAYING COURSE.
3. PAVING WORK SHALL BE PLUMB, LEVEL, AND TRUE TO LINE GRADE; SHALL BE INSTALLED PROPERLY, COINCIDE AND ALIGN, WITH ADJACENT WORK AND ELEVATIONS.
4. PAVING STONES SHOULD BE INSTALLED HAND TIGHT ON THE UNDISTURBED SAND LAYING COURSE. STRING LINES SHOULD BE USED TO HOLD PATTERN LINES TRUE.
5. GAPS BETWEEN THE EDGE OF THE PAVER SURFACE SHALL BE FILLED WITH STANDARD PAVERS OR WITH PAVERS CUT TO FIT. CUT PAVERS SHOULD BE NO SMALLER THAN ONE THIRD THE SIZE OF FULL PAVERS. CARE SHOULD BE TAKEN WHEN ESTABLISHING THE LAYING PATTERN TO INSURE THAT LESS THAN ONE THIRD PAVERS ARE MINIMIZED.
6. PAVERS ARE SET INTO THE SAND LAYING COURSE BY ROLLER OR PLATE VIBRATOR CAPABLE OF 3,000 TO 5,000 COMPACTION FORCE. VIBRATION SHALL BE CONDUCTED IN CROSSING PATHS UNTIL THE PAVEMENT SURFACE IS SMOOTH AND REQUIRED ELEVATION IS ACHIEVED. GAPS BETWEEN PAVERS SHOULD AT THIS POINT SHOULD BE FILLED TO ABOUT TWO THIRDS OF THE PAVER'S FULL HEIGHT. GAPS BETWEEN EDGES SHOULD BE NO MORE THAN 3/16" WIDE AFTER VIBRATION. GAPS GREATER THAN 3/16" SUGGEST THAT LESS THAN SATISFACTORY INTERLOCK WILL BE ACHIEVED. PAVERS WITHIN THREE FEET OF UNRESTRAINED EDGES MUST NOT BE COMPACTED.
7. ONCE PAVERS ARE VIBRATED INTO PLACE, CLEAN, DRY SAND SHALL BE BROOMED OVER THE PAVEMENT SURFACE AND VIBRATED ONCE MORE INTO THE REMAINING UNFILLED GAPS BETWEEN PAVERS TO THE HEIGHT OF THE JOINT BEVEL. SURPLUS SAND SHOULD BE SWEEPED FROM THE PAVEMENT SURFACE AND DISPOSED OF.
8. THE COMPLETED PAVING STONE INSTALLATION SHOULD BE WASHED DOWN AND CLEANED TO PROVIDE A CLEAN FINISHED WORKMANLIKE INSTALLATION.

LIST OF INSPECTIONS

- THE CONTRACTOR SHALL CONTACT THE OWNERS REPRESENTATIVE 48 HOURS IN ADVANCE OF, AND COORDINATE, THE FOLLOWING INSPECTIONS (BUT NOT LIMITED TO):
1. PRE-JOB CONFERENCE.
2. AT COMPLETION OF FINISH GRADING.
3. LAYOUT OF SHOVEL CUTS BUT PRIOR TO INSTALLATION.
4. LAYOUT OF PAVING BUT PRIOR TO INSTALLATION.
5. LAYOUT OF WALLS AND PILASTERS BUT PRIOR TO INSTALLATION.
6. DURING ENTIRE IRRIGATION INSTALLATION TO VERIFY AND INSPECT THE FOLLOWING (BUT NOT LIMITED TO):
- a. POINT OF CONNECTIONS
b. BACKFLOW PREVENTION DEVICES
c. TRENCHING FOR PIPES
d. ELECTRICAL CONNECTIONS
e. CONTROL VALVES
f. COVERAGE
7. AT DELIVERY OF ALL PLANT MATERIALS TO THE SITE.
8. WHEN TREES AND SHRUBS ARE SPACED FOR PLANTING BUT BEFORE HOLES ARE EXCAVATED.
9. AT PRE-MAINTENANCE INSPECTION.
10. AT FINAL INSPECTION.

CONCRETE PAVING NOTES

1. THE CONTRACTOR SHALL VERIFY WITH PROJECT STRUCTURAL SOILS ENGINEER THE NEED FOR REINFORCING, BASE MATERIALS, PRESATURATION, AND OTHER REQUIREMENTS FOR PAVING AREAS.
2. ALL CONCRETE PAVING SECTIONS SHALL BE A MINIMUM OF 3 1/2" THICK UNLESS OTHERWISE NOTED.
3. PAVING AND CONCRETE CONTRACTOR(S) SHALL COORDINATE HIS WORK WITH ELECTRICIAN, DRAIN LINE CONTRACTOR AND IRRIGATION CONTRACTOR FOR SLEEVING, PIPING, AND CONDUIT UNDER ALL PAVING AS REQUIRED.
4. THE CONTRACTOR SHALL HOLD FINISH GRADE (1") INCH BELOW FINISH SURFACE.
5. THE CONTRACTOR SHALL SLOPE ALL FINISH SURFACE AREAS A MINIMUM OF ONE PERCENT. UNLESS NOTED OTHERWISE.
6. ALL WALKS SHALL HAVE CROSS FALL OF ONE PERCENT MINIMUM.
7. REFER TO FINISH SCHEDULE FOR CONCRETE FINISH.
8. ALL WALK INTERSECTIONS SHALL BE 90 DEGREES UNLESS NOTED OTHERWISE.
9. ALL RADII AT WALK INTERSECTIONS SHALL BE 36" UNLESS NOTED OTHERWISE.
10. FULL DEPTH EXPANSION JOINTS ARE TO BE SPACED AT MAXIMUM 20' O.C., SCORE LINES TO BE MAXIMUM 10' O.C.
11. ALL FORMS AND ALIGNMENT OF PAVING SHALL BE INSPECTED AND CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT A MINIMUM OF 48 HOURS PRIOR TO INSPECTION.
12. REFER TO PRECISE GRADING PLAN FOR FINISH GRADES AND DRAINAGE.

FOUNTAIN NOTES

1. THE FOUNTAIN KIT SHALL BE INSTALLED IN CONFORMANCE WITH GOVERNING CODES AND ORDINANCES, AND MANUFACTURERS SPECIFICATIONS AND INSTRUCTIONS.
2. THE CONTRACTOR SHALL PROVIDE AND INSTALL ALL SPECIFIED EQUIPMENT.
3. THE CONTRACTOR SHALL CLEAN, SERVICE AND MAINTAIN THE FOUNTAIN AND EQUIPMENT FOR A MINIMUM OF 60 DAYS.
4. THE CONTRACTOR SHALL PROVIDE OWNER/DEVELOPER OR H.O.A. WITH ALL SERVICE MANUALS, CATALOGS, ETC. FOR EQUIPMENT PROVIDED AND INSTALLED.
- SUPPLIER:
- SLEEVING AND SERVICE PROVISIONS SHALL BE COORDINATED WITH ALL OTHER APPROPRIATE CONTRACTORS.

SYMBOL	ITEM	MANUFACTURER/SUPPLIER	COLOR	FINISH	COMMENTS
FLATWORK					
12	NATURAL GRAY CONCRETE PAVING with SAW CUTS PER PLAN	N/A	NATURAL GRAY	'ACID ETCH' (SEE COMMENTS)	APPLY TOPCAST WASH RETARDER (03 ACID ETCH FINISH) AVAILABLE THRU GRACE CONET. PRODUCTS OR EQUAL 877-423-6491 WITH MATTE IMPREGNATING SEALER. CONTRACTOR TO PROVIDE CUT SHEET TO L.A. FOR APPROVAL.
13 13.1 13.2	FIELD COMBO-STONE 5 PIECE 60mm at PEDESTRIAN 5 PIECE 80mm at VEHICULAR BANDING: 6" x 12" PAVER BANDING	ACKERSTONE CONTACT: MIKE MELLARD 949.241.6669	COLORS (FIELD): TALEGA BLEND - FACE MIX PAVER BANDING: COLOR: MOCHA	NO CHAMFER LIGHT SHOT BLAST NO CHAMFER LIGHT SHOT BLAST	PATTERN: RANDOM ASHLAR for FIELD FLAT TOP/NO CHAMFER INSTALL CLASS 2 ROAD BASE SAND SET SEAL WITH SUBBOND SB 1300 OR EQUAL JOINT SAND-LOGICAL RESOURCE POLYMERIC OR EQUAL
14	ADA PARKING STALL PAVER KIT 48" x 48" x 80mm	ACKERSTONE CONTACT: MIKE MELLARD 949.241.6669	SEE DETAIL 'C'. SHEET LC.3	NO CHAMFER LIGHT SHOT BLAST	PATTERN: SEE DETAIL 'C'. SHEET LC.3 FLAT TOP/NO CHAMFER INSTALL CLASS 2 ROAD BASE SAND SET SEAL WITH SUBBOND SB 1300 OR EQUAL JOINT SAND-LOGICAL RESOURCE POLYMERIC OR EQUAL
15	4" x 4" x 80mm COMBO STONE STANDARD STALL STRIPING BAND	ACKERSTONE CONTACT: MIKE MELLARD 949.241.6669	SIZE: 4" x 4" (COMBO STONE) THICKNESS: 80mm COLOR: MOCHA	NO CHAMFER LIGHT SHOT BLAST	PATTERN: SEE DETAIL 'C'. SHEET LC.3 FLAT TOP/NO CHAMFER INSTALL CLASS 2 ROAD BASE SAND SET SEAL WITH SUBBOND SB 1300 OR EQUAL JOINT SAND-LOGICAL RESOURCE POLYMERIC OR EQUAL
SITE FURNISHINGS					
16	METAL TREE GRATE 2' x 2'	URBAN ACCESSORIES 877-487-0498 AVAILABLE THRU: RECREATION REPUBLIC CONTACT: SUZANNE ANDERSON 760.846.1980	CAST IRON	RAW CAST IRON	



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Job No.:

Drawn By: PJS

Checked By: MS

Plan Date: JANUARY 16, 2013

Scale: SEE DETAIL

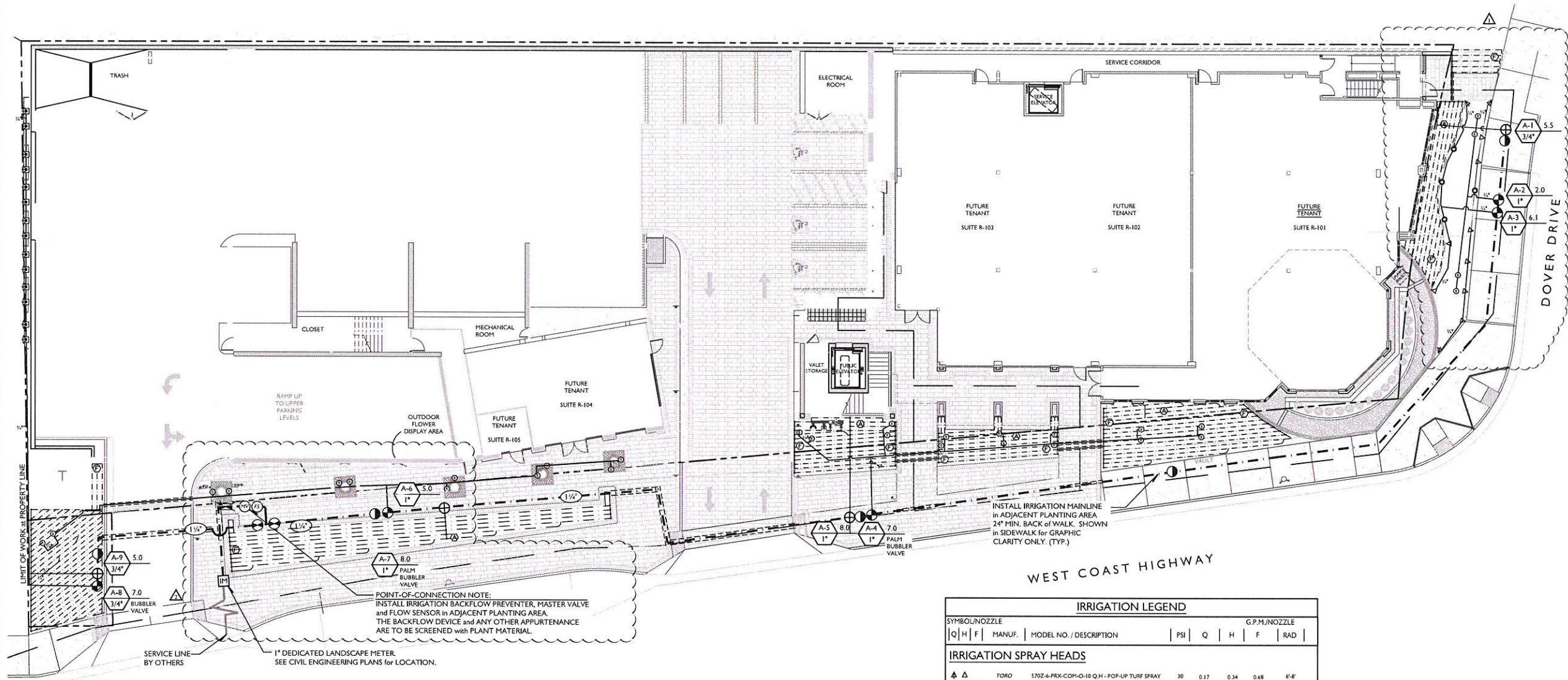
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CONSTRUCTION
NOTES and
FINISH SCHEDULE

Sheet No.:

LC.2

Plan Status:
PERMIT/CONSTRUCTION
DOCUMENTS



POINT-OF-CONNECTION NOTE:
INSTALL IRRIGATION BACKFLOW PREVENTER, MASTER VALVE
and FLOW SENSOR in ADJACENT PLANTING AREA.
THE BACKFLOW DEVICE and ANY OTHER APPURTENANCE
ARE TO BE SCREENED with PLANT MATERIAL.

1\"/>

IRRIGATION PIPING	
AS APPROVED	NON-PRESSURE LATERAL PVC PIPE SCH. 40 FOR SIZES 3/4\"/>
AS APPROVED	PRESSURE MAINLINE SCH. 40 PVC IN PLANTER AREA FOR SIZES 3/4\"/>
AS APPROVED	PVC PIPE SCH. 40 SLEEVING, TWICE THE DIAMETER OF PIPE OR WIRE BUNDLE CARRIED - EXTEND 12\"/>
NO SYMBOL	INSTALL CONCRETE THRUST BLOCK on ALL ANGLED MAINLINE

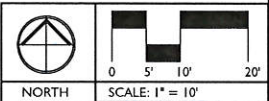
VALVE KEY:	
VALVE NUMBER	GPM
A-9	25.18
1\"/>	VALVE SIZE

TECHLINE SUPPLY/EXHAUST LATERAL PIPE SIZING:	
ZONE FLOW	PIPE SIZE
0 - 5 GPM	TECHLINE TUBING or 1/2\"/>
6 - 8 GPM	3/4\"/>
9 - 13 GPM	1\"/>
13.1 - 22 GPM	1 1/4\"/>
22.1 - 30 GPM	1 1/2\"/>

REFERENCE NOTES:
FOR GENERAL IRRIGATION NOTES & CALCULATIONS SEE SHEET LI.2
FOR ESTIMATED WATER USE & SCHEDULE SEE SHEET LI.2
FOR IRRIGATION DETAILS SEE SHEETS LI.3
FOR IRRIGATION SPECIFICATIONS SEE SHEET LI.4

CITY of NEWPORT BEACH MUNICIPAL CODE 14.17 - WATER ORDINANCE NOTE
THE IRRIGATION SYSTEM WAS DESIGNED to MEET THE REQUIREMENTS of THE CITY of NEWPORT BEACH
MUNICIPAL CODE 14.17 WATER EFFICIENT LANDSCAPE ORDINANCE.

IRRIGATION LEGEND						
SYMBOL/NOZZLE	MANUF.	MODEL NO. / DESCRIPTION	PSI	Q	H	F
IRRIGATION SPRAY HEADS						
▲ ▲	TORO	5702-4-PRX-COM-O-10 Q.H. - POP-UP TURF SPRAY	30	0.17	0.34	6'-8"
● ●	TORO	5702-4-PRX-COM-O-10 Q.H. - POP-UP TURF SPRAY	30	0.26	0.51	8'-10"
● ●	TORO	5702-4-PRX-COM-O-12 Q.H. - POP-UP TURF SPRAY	30	0.37	0.74	10'-12"
IRRIGATION BUBBLER HEADS						
⊙	RAINBIRD	RWS-B-C-1400-64 ROOT WATERING SYSTEM or APPROVED EQUAL (2 BUBBLERS per TREE)	30	0.50		0'
⊙	RAINBIRD	1400 SERIES BUBBLERS on RISER	30	1.0		0-2'
IRRIGATION UTILITIES						
M	WATER METER	1\"/>				
FEBCO B35Y		1\"/>				
WILKINS KING BROS.		GATE VALVE - BLOCKED TRUE UNION PVC - 2\"/>				
RAINBIRD		33-LRC 1/2\"/>				
RAINBIRD		PEB SERIES - PLASTIC INDUSTRIAL ELECTRIC REMOTE CONTROL VALVE (SIZE AS SHOWN ON PLAN)				
RAINBIRD		1\"/>				
RAINBIRD		1\"/>				
IRRIGATION CONTROLLER						
RAINBIRD		ESP-LX10E WALL MOUNT CONTROLLER with RAINBIRD WEATHER SMART ET MANAGER and NECESSARY ACCESSORIES. WEATHER REACH SIGNAL PROVIDER 1-(877)-351-4588.				
NO SYMBOL	RAINBIRD	ALLOW TWO EXTRA AVAILABLE STATIONS MIN. INCLUDING MASTER VALVE STATION. WS3-RC WIRELESS RAIN SENSOR. INSTALL per MANUFACTURER'S SPECIFICATIONS.				
120 VOLT ELECTRICAL POWER FOR CONTROLLER		PROVIDED BY ELECTRICIAN. FIELD VERIFY ACTUAL LOCATION.				
SUBSURFACE IRRIGATION						
RAINBIRD		XCZ-075, -100, -150-B-COM REMOTE CONTROL VALVE ZONE KIT with PRESSURE REGULATOR				
NETAFIM		NETAFIM TECHLINE-CV and TECHFILTER with 0.60 GPH EMITTERS 12\"/>				
NETAFIM		NETAFIM FITTINGS FOR CONNECTION BETWEEN PVC LATERAL LINES AND NETAFIM TUBING				
AS APPROVED		SUPPLY/EXHAUST PVC HEADER. SIZE per LEGEND SEE BELOW.				
NETAFIM		TECHLINE CV MANUAL LINE FLUSH VALVE. - PROVIDE SCH 40 OR SCH 80 SOLVENT-WELD BALL VALVE FOR FLUSH OFF OF PVC EXHAUST MANIFOLD (PRESIZE PER PLAN). INSTALL FLUSH VALVE INSIDE 4\"/>				
RAINBIRD		ARV-100 AIR/VACUUM RELIEF VALVE INSTALLED WITH A FT-250 COMBINATION TEE AND A 3/4\"/>				
RAINBIRD		MULTIPLE ARV'S SHALL BE REQUIRED PER RCV WITHIN UNDOULATING AREAS. VERIFY QUANTITY PRIOR TO STARTING WORK. FLUSH VALVES and AIR RELIEF VALVES SHOWN DIAGRAMMATICALLY. INSTALL VALVE BOX 18\"/>				



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12.10.12	PLANNING COMMISSION
1.16.13	PLANNING COMMISSION

Revisions:	
6.04.12	AGENCY REVISION
8.01.12	AGENCY REVISION #2



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PROJECT:

MARINER'S
POINTE

WEST COAST HIGHWAY
AT DOVER
NEWPORT BEACH, CA

CUENT:

V.B.A.S.
PROPERTIES Inc.

18582 BEACH BOULEVARD
HUNTINGTON BEACH, CA
92648

Stamps:



Job No.:

Drawn By: MJS

Checked By: MS

Plan Date: JANUARY 16, 2013

Scale: 1\"/>

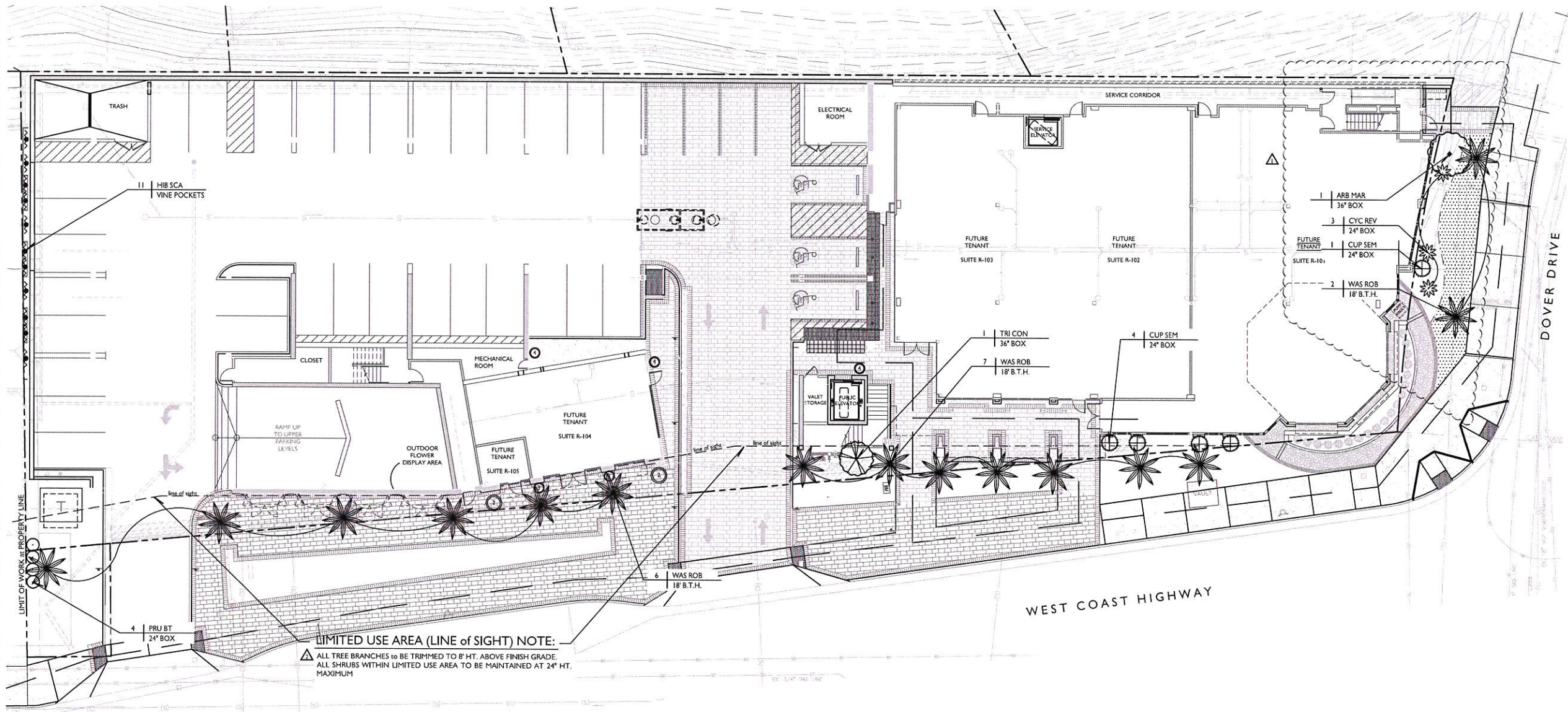
Title:

LANDSCAPE
IRRIGATION
PLAN

Sheet No.:

LI.1

Plan Status:
PERMIT/CONSTRUCTION
DOCUMENTS



POT and PLANT SCHEDULE

SYMBOL	QTY	DESCRIPTION	FINISH	AVAILABLE FROM	PLANT MATERIAL (PER POT)
1	SEE SHEET LP 3	SEE SHEET LP 3	SEE SHEET LP 3	SEE SHEET LP 3	SEE SHEET LP 3
2	2	WILSHIRE PLANTER 45" X 48" QR-W5454BP - LC	C9-T1 MISSION WHITE MATTE SEALER	QUICKCRETE ATTN: BRIAN GOTZ 714.309.6564	1 - 34" BOX OLIVIA 'SWAN HILL' - FRUITLESS OLIVE 6 - 1 GAL ROSMARINUS 'HUNTINGTON CARPET' 6 - 4" POTS PELARGONIUM X DOMESTICUM 'BRIGHT RED'
3	2	SAVANNAH 28" X 32" Q5-SAV2832P - LC	C6-T1 CHARCOAL GRAY MATTE SEALER	QUICKCRETE ATTN: BRIAN GOTZ 714.309.6564	1 - 24" BOX LIGULSTRUM PYRAMID TOPARIY 4" POTS SEASONAL COLOR
4	3	GREENFIELD ROUND 20" X 45" QR-GF2045P LITE CRETE	C6-T1 CHARCOAL GRAY MATTE SEALER	QUICKCRETE ATTN: BRIAN GOTZ 714.309.6564	1 - 20 GAL RHAPHIS EXCELSA - LADY FINGER PALM 6 - 6" POTS HANGING COMMON IVY

POTS TO RECEIVE SELF-WATERING LINES. AVAILABLE FORM: TOTAL # OF TREES IN POTS: 5

PLANTER IRRIGATION NOTE:

* ALL POTS TO RECEIVE SELF WATERING SYSTEM. CWI CLASSIC BY PLANTER TECHNOLOGY (AVAIL. THRU. TOURNESOL) OR EQUAL. SEE SELF-IRRIGATION SYSTEM DETAILS SHEET LP 3)

QUANTITIES NOTE:

CONTRACTOR TO NOTE THAT THE QUANTITIES ON LEGEND AND PLANT CALLOUTS HAVE BEEN PROVIDED FOR QUICK REFERENCE ONLY. IT IS RECOMMENDED THAT THE CONTRACTOR NOT RELY ON THE ACCURACY OF THESE QUANTITIES AND PROVIDE THEIR OWN PLANT MATERIAL COUNTS AT THE TIME OF PREPARING BID. ANY DISCREPANCY IN THE PLANT QUANTITIES AND SIZES SHOULD BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE LANDSCAPE ARCHITECT.

TREE ROOT BARRIER NOTE:

ROOT BARRIERS ARE REQUIRED WHERE TREES ARE PLANTED LESS THAN FIVE (5) FEET OF SIDEWALK, WALLS, BUILDINGS, STRUCTURES, CURBS, PAVING, PUBLIC IMPROVEMENTS WITHIN R.O.W. (TYP.), WATER, SEWER, STORM DRAIN, ETC. ROOT BARRIER SHALL BE INSTALLED AT HARDSCAPE EDGE WITH PERCOLATION TESTS OR UTILIZE STRUCTURAL SOIL. BARRIER SHALL BE THE LENGTH OF THE ULTIMATE CANOPY OF THE TREE.

TREE PLACEMENT NOTE:

CONTRACTOR TO LOCATE ALL DRAINLINES IN FIELD PRIOR TO THE INSTALLATION OF TREES AND PALMS. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICT WITH TREE LOCATIONS WITH STORM DRAIN LINES.

TREE STAKING NOTE:

ALL TRISTANIA CONFERTA AND ITALIAN CYPRESS TO BE STAKED WITH (2) 30" LONG GALVANIZED METAL POLES NON-THREADED. PAINTED BASALT GREEN.

AGRONOMIC SOILS REPORT NOTE:

CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING TWO (2) AGRONOMIC SOIL TESTS AND INSTALL PLANT MATERIAL PER REPORT AND SOIL RECOMMENDATIONS. LOCATIONS OF TESTS TO BE WEST COAST HIGHWAY AND DOVER DRIVE.

STREET TREE REQUIREMENT

PER MARINER'S POINTE SPECIFIC PLAN REQUIREMENTS

WEST COAST HIGHWAY FRONTAGE: 330 L.F.
MIN. PALMS REQUIRED: 11 PALMS REQUIRED
13 PALMS PROVIDED

LIMITED USE AREA (LINE of SIGHT) NOTE:

ALL TREE BRANCHES TO BE TRIMMED TO 8' HT. ABOVE FINISH GRADE. ALL SHRUBS WITHIN LIMITED USE AREA TO BE MAINTAINED AT 24" HT. MAXIMUM.

GENERAL PLANTING NOTES:

- PRIOR TO ANY FINE GRADING OR PLANTING, CONTRACTOR SHALL OBTAIN TWO (2) AGRONOMIC SOIL REPORTS AND SOIL AMENDMENT RECOMMENDATIONS PER SPECIFICATIONS, WHICH SHALL SUPERSEDE THOSE WITHIN THE SPECIFICATIONS.
- LANDSCAPE ARCHITECT TO APPROVE ALL PLANT MATERIAL NOT LESS THAN 1 WEEK PRIOR TO ANTICIPATED DELIVERY DATE.
- CONTRACTOR SHALL REMOVE ALL GROWER STAKES, TAGS AND RIBBONS.
- LANDSCAPE CONTRACTOR SHALL MAINTAIN PROPER DRAINAGE AND DIRECT ALL WATER TO DRAINAGE INLETS SO AS TO PREVENT STANDING WATER.
- THE LANDSCAPE CONTRACTOR SHALL MAINTAIN ALL PLANTED AREAS FOR A PERIOD OF 90 DAYS AFTER "START OF MAINTENANCE" PERIOD.
- CONTRACTOR SHALL GUARANTEE SHRUBS FOR 6 MONTHS AND TREE MATERIAL FOR 12 MONTHS (1 YEAR).
- LANDSCAPE ARCHITECT SHALL APPROVE PLANT MATERIAL PLACEMENT PRIOR TO INSTALLATION.
- NO TREES/PALM SHALL BE PLANTED CLOSER THAN 5' TO A BUILDING OR ROOF STRUCTURE. NO TREES SHALL BE PLANTED CLOSER THAN 5' TO PAVING OR FREESTANDING WALLS UNLESS DIRECTED BY THE LANDSCAPE ARCHITECT.
- TREES SHALL NOT BE PLANTED WHERE FUTURE GROWTH WILL OBVIOUSLY CONFLICT WITH ROOF OVERHANGS.
- NO SHRUBS OR TREES SHALL BE PLANTED THAT WILL CREATE A VISUAL OBSTRUCTION TO SIGHT LINE OF VEHICLE TRAFFIC.
- TREES PLANTED IN LANDSCAPE AREAS OF LESS THAN 5' IN WIDTH SHALL BE INSTALLED WITH APPROVED ROOT BARRIERS.
- ANY PLANTING SHOWN ON THE PLANS OR EXISTING IN THE FIELD THAT CONTRADICTS THESE CRITERIA IS TO BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR RESOLUTION. FAILURE TO DO SO MAY RESULT IN THE CONTRACTOR TO REMOVE OR RELOCATE PLANT MATERIAL.

REFERENCE NOTES:

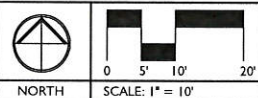
FOR PLANTING DETAILS SEE SHEET LP 4
FOR PLANTING SPECIFICATIONS SEE SHEET LP 5

LANDSCAPE MAINTENANCE NOTE:

ALL LANDSCAPING TO BE MAINTAINED BY PROPERTY OWNER INCLUDING ALL PLANTS INSIDE THE RIGHT-OF-WAY.

TREE, PALM and VINE LEGEND:

SYMBOL	NAME	SIZE	COMMENTS	QTY
TREES: NOTE: TREES IN RESTRICTED USE AREA TO BE TRIMMED 8' ABOVE GROUND				
ARB MAR	ARBITUS 'MARINA' ARBITUS	36" BOX	STANDARD	1
CUP SEM	CUPRESSUS SEMPERVIRENS ITALIAN CYPRESS	24" BOX	SEE NOTE BELOW FOR STAKING	6
PRU BT	PRUNUS C. 'BRIGHT & TIGHT' CAROLINA CHERRY	24" BOX	COLUMN	4
TRI CON	TRISTANIA CONFERTA BRISBANE BOX	36" BOX	LOW BRANCH	3
PALMS:				
WAS ROB	WASHINGTONIA 'HYBRID' ROBUSTA x FELICER PALM	18" B.T.H.	MATCH HEIGHTS SKINNED TRUNKS	15
CYC REV	CYCAS REVOLUTA SAGO PALM	24" BOX	MULTI	3
VINES:				
	BOUGAINVILLEA 'SAN DIEGO RED' BOUGAINVILLEA	15 GAL	STAKED ATTACH TO PALMS IN TREE WELLS	2
	HIBBERTIA SCANDENS GUINEA GOLD VINE	15 GAL	STAKED AND ATTACH TO GREEN SCREEN at WEST WALL	2
SODDED TURF (420 SF):				
	MARATHON III SODDED TURF AVAILABLE FROM SOUTHLAND SOD FARMS OR EQUAL AS APPROVED BY THE LANDSCAPE ARCHITECT.			
	1" FOREST FLOOR BARK MULCH (1" THICK) AVAILABLE THROUGH AGUINAGA FERTILIZER COMPANY (949) 786-9558 OR APPROVED EQUAL - SUBMIT SAMPLES TO L.A. FOR APPROVAL			



Issued For:	
3.26.12	1st CITY SUBMITTAL
5.29.12	PLANNING COMMISSION
12.10.12	PLANNING COMMISSION
1.16.13	PLANNING COMMISSION

Revisions:	
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18582 BEACH BOULEVARD
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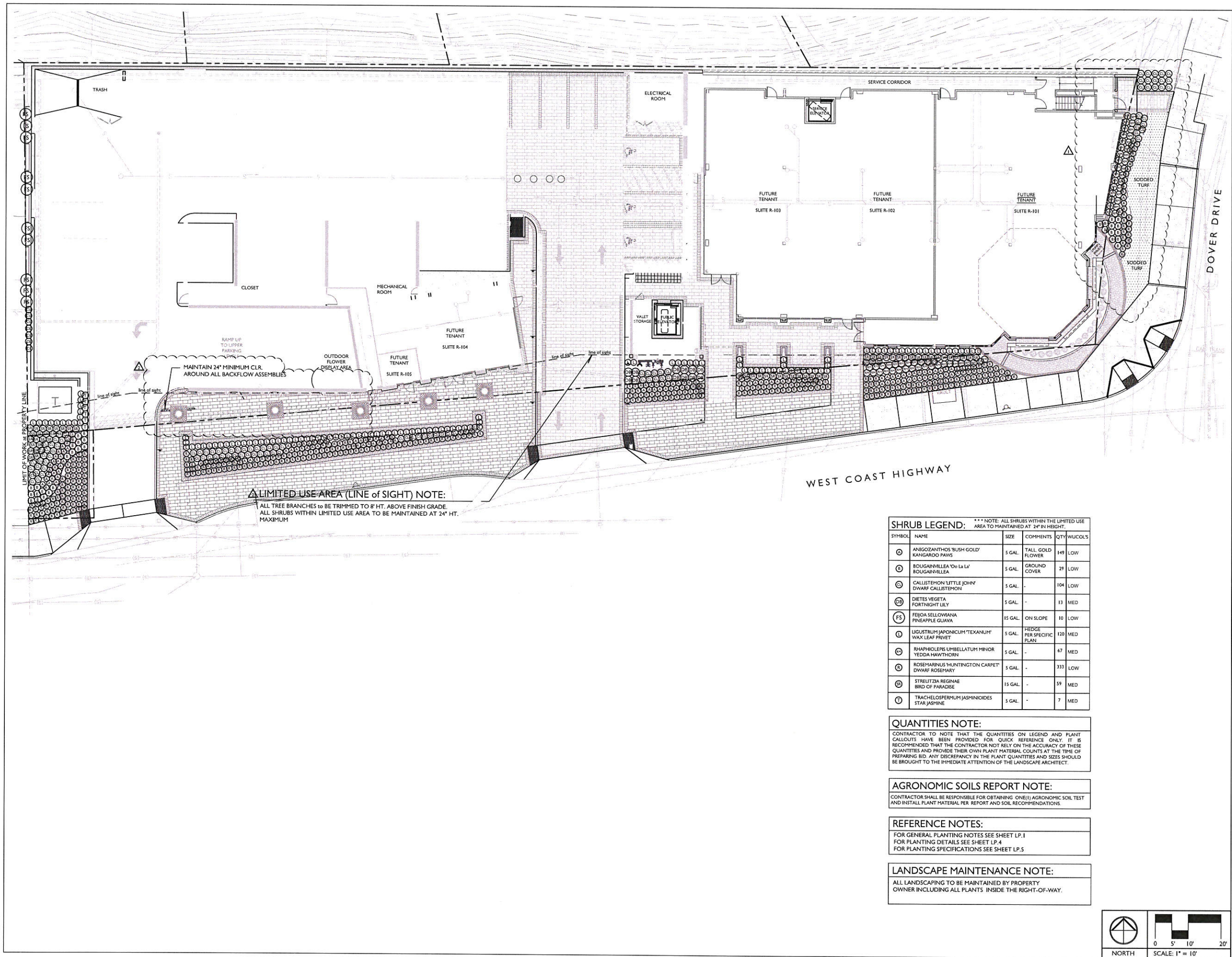
Title:

TREE, PALM,
VINE & TURF
PLAN

Sheet No.:

LP.1

Plan Status:
PERMIT/CONSTRUCTION
DOCUMENTS



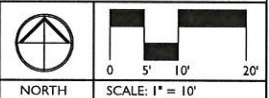
SHRUB LEGEND: *** NOTE: ALL SHRUBS WITHIN THE LIMITED USE AREA TO MAINTAINED AT 24" IN HEIGHT.					
SYMBOL	NAME	SIZE	COMMENTS	QTY	WUCOLS
⊙	ANIGOSANTHOS 'BUSH GOLD' KANGAROO PAWS	5 GAL.	TALL GOLD FLOWER	149	LOW
⊙	BOUGAINVILLEA 'Oo La La' BOUGAINVILLEA	5 GAL.	GROUND COVER	29	LOW
⊙	CALLISTEMON 'LITTLE JOHN' DWARF CALLISTEMON	5 GAL.	-	104	LOW
⊙	DIETES VEGETA FORTNIGHT LILY	5 GAL.	-	13	MED
⊙	FEJOA SELLOWIANA PINEAPPLE GUAVA	15 GAL.	ON SLOPE	10	LOW
⊙	LIGUSTRUM JAPONICUM 'TEXANUM' WAX LEAF PRIVET	5 GAL.	HEDGE PER SPECIFIC PLAN	120	MED
⊙	RHAPHIOLEPIS UMBELLATUM MINOR 'YEDDA HAWTHORN	5 GAL.	-	67	MED
⊙	ROSEMARINUS 'HUNTINGTON CARPET' DWARF ROSEMARY	5 GAL.	-	333	LOW
⊙	STRELITZIA REGINAE BIRD OF PARADISE	15 GAL.	-	59	MED
⊙	TRACHELOSPERMUM JASMINIODES STAR JASMINE	5 GAL.	-	7	MED

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REFERENCE NOTES:
FOR GENERAL PLANTING NOTES SEE SHEET LP.1
FOR PLANTING DETAILS SEE SHEET LP.4
FOR PLANTING SPECIFICATIONS SEE SHEET LP.5

LANDSCAPE MAINTENANCE NOTE:
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Job No.: -
Drawn By: MJS
Checked By: MJS
Plan Date: JANUARY 16, 2013
Scale: 1" = 10'

Title:
SHRUB PLANTING PLAN

Sheet No.:
LP.2

Plan Status:
PERMIT/CONSTRUCTION DOCUMENTS

ADDITIONAL
MATERIALS
RECEIVED

Mariner's Pointe Substantial Conformance Review



Planning Commission
Public Hearing
February 7, 2013

STAFF PRESENTATION (PA2010-114)





COAST HWY W

DOVER DR

BAY SHORE DR

403

12C

11C

303

100

104

300

300

224

200

410

400

320

2889

2891

B

1-8

2591

259

2601

2611

2621

2631

2641

2651

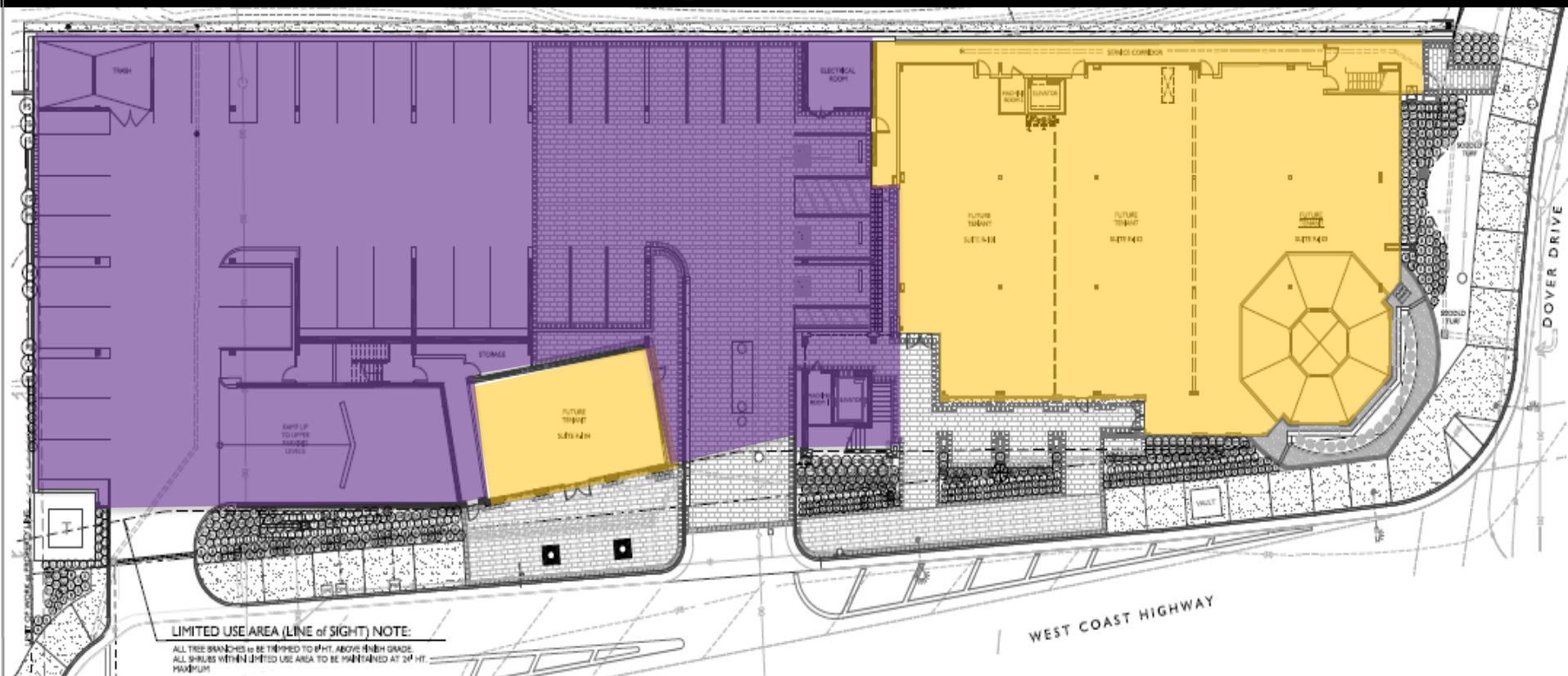
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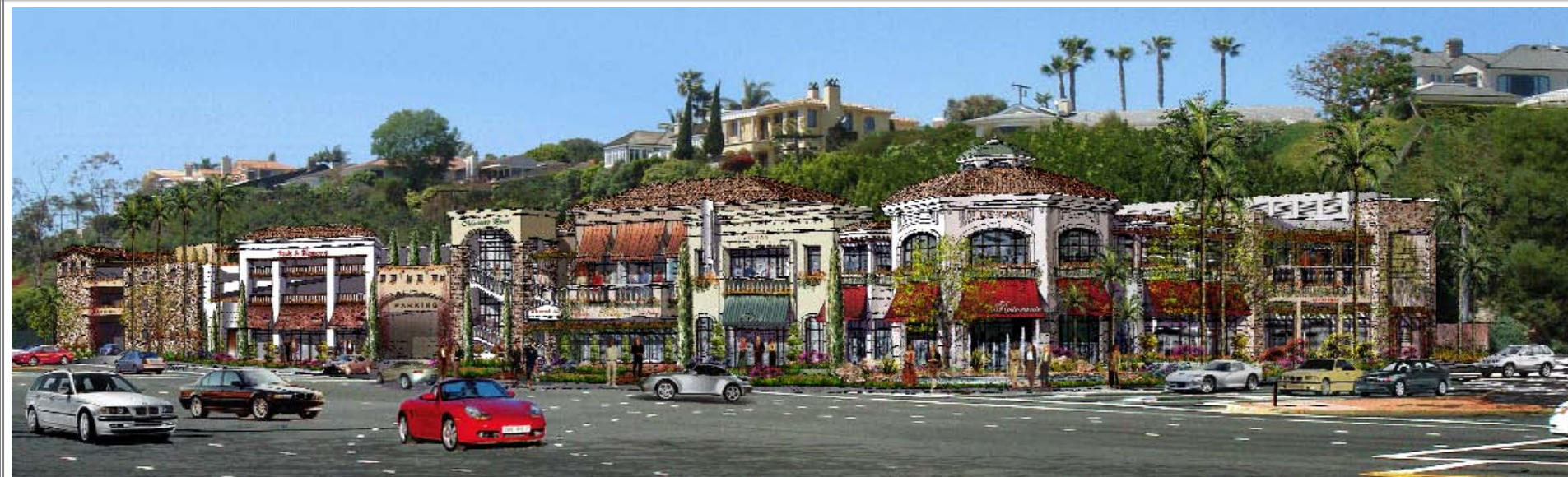
2691

Approved Project City Council August 9, 2011



- Two-story 19,905 sf commercial building and three-level structure
- 9,557 sf restaurants, 8,651 sf retail & 1,697 sf medical

Approved Conceptual Plan City Council August 9, 2011



Conditions of Approval



- Condition No. 4- PC review of final building elevations and roof plan to ensure that high level of architectural detail and treatments illustrated on conceptual plan are implemented
- Condition No. 20- PC review of final landscape and irrigation plan to ensure landscape improvements illustrated on conceptual plan are implemented
- Any substantial changes shall require PC approval

Final Architectural Plans

Planning Commission June 7, 2012



Proposed Revisions Architectural Plans



Comparison



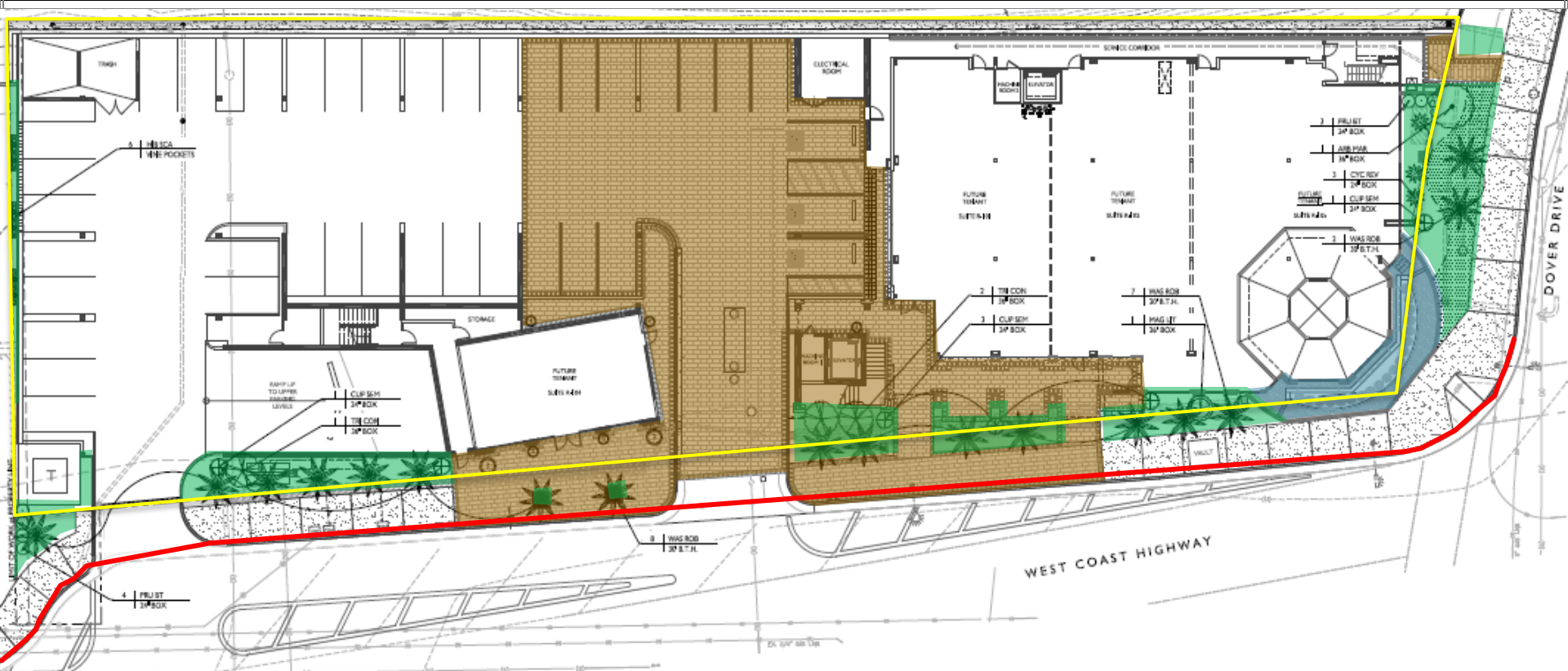
Enlarged View



Flower Display Cases

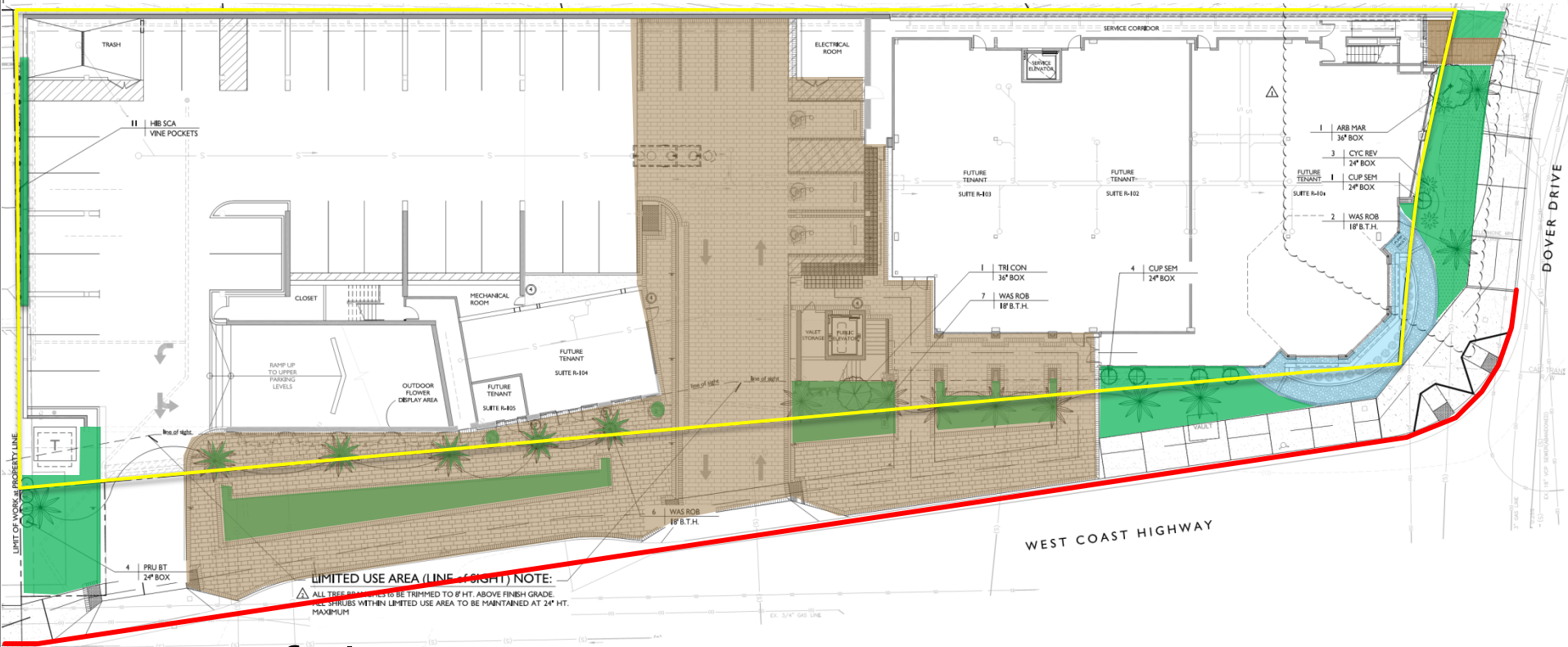


Approved Final Landscape Plan



- 2,460 sf planter area
- 17 palm trees (15 on WCH frontage)

Proposed Landscape Revisions



- 3,035 sf planter area
- 15 palm trees (13 on WCH frontage)
- 1,312 sf in WCH R.O.W., subject to widening



For more information contact:

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Item No. 2 : Mariner's Pointe (PA2010-114)

Although page 4 of the staff report nicely illustrates the proposed façade changes, it would have seemed equally helpful to have included an exhibit highlighting how the newly proposed **landscaping** differs from that previously approved, and how both overlay the existing and/or proposed public rights-of-way. Perhaps that will be provided in the live report?

As it is, I am unable to fully understand most of the statements about what Caltrans wants and how the proposed landscaping changes accommodate their concerns. I also recall (as is confirmed by Condition 78 of the Council Resolution reproduced on handwritten page 61), that fairly extensive changes to the striping of the roadway in front of the site were expected to be made, and it is unclear to me what kind of striping is now being proposed.

In addition, the staff report suggests that (apparently to make room for the newly proposed display boxes) the new landscaping will encroach more into the rights-of-way than the previous plan, and that will leave much of the landscaping vulnerable to being lost if PCH were to be widened. Given the high volume of traffic on PCH, encroaching into the rights-of-way sounds like a very bad idea, but it remains unclear to me whether other developments in the area have been allowed similar encroachments, and how the street widening is proposed to be accomplished. However those problems are planned to be handled, it would seem any new development, such as this, should be considered with the possibility of street widening in mind.

Finally, page 7 of the staff report, in discussing the possible use of the "display cases" in the screening wall for advertising rather than flowers, refers to a future, and yet-to-be determined, comprehensive sign program that may regulate their use for such purposes. I am surprised a sign program consistent with the Commission's vision for the site was not part of the previous approvals; and also wondering if this aspect of the design change might be primarily a work around to provide the applicant a place for cheap signage that could not have been logically affixed to the previously proposed stone veneer wall. I would suggest prohibiting in-window signage intended to be read from the highway.

With regard to the Draft Resolution of Approval starting on handwritten page 11, the following comments and suggested changes are offered:

Section 1.1: "... a 0.76-acre site located **at** 100-300 West Coast Highway ..."

Section 1.2: "... to ensure ~~the~~ **a** high level of ..."

Section 1.4: "1) changing the stone veneer exterior of a wall **with and adding** awnings and commercial display boxes; 2) reducing the height of a stair/elevator tower; and 3) **changing** landscaping between the building and West Coast Highway." (and if I understand the proposal correctly, "**eliminating** the stone veneer" would seem more accurate than "**changing** the stone veneer.")

Section 1.5: "...at this meeting ~~;~~ **and**"

Section 2: the CEQA finding would seem to be correct only if no significant changes to the use of the highway are being proposed. It is unclear to me exactly what those changes may be.

Section 3.1.A: *"The replacement of the stone veneer on the screen wall located in front of the parking structure ramps on the South Elevation of the project will provide an expanded storefront and stronger retail presence."* As I understand the proposal, the stone veneer is to be replaced with a plain wall, and this is to create a fake storefront rather than an actual *"expanded storefront."* In general I think the change from what looked like a prison wall to a fake storefront is a positive one, but I fail to see why the wall of the fake storefront could not have a stone veneer, or how its elimination is consistent with the promised high level architectural detail.

Section 3.1.E: *"...the total number of palms trees has been reduced from 17 to 13 trees."* It might have helped to indicate, perhaps in the staff report, exactly which 4 palms are being eliminated, and why. And it is unclear from the remainder of this statement if the landscaping proposal being presented to the Planning Commission is actually going to happen. It seems contingent on future negotiations with Caltrans, the outcome of which is uncertain.

Section 3.1.F: *"...providing a hedge and palm tree feature that serves as a unifying design feature that ties the Mariner's Mile corridor together."* For unknown reasons, in the early days of the Coastal Act the northwest corner of the PCH/Dover Drive intersection was (and I think inappropriately) removed from the Coastal Zone. However, the bulk of the Mariner's Mile corridor *is* in the Coastal Zone, and as characteristic as palms may seem in California coastal cities, the Coastal Commission has recently shown a decided displeasure with any use of non-native plants for landscaping (for example, allowing retention of existing palm trees at Marina Park, but not allowing their replacement should they die). As a result, the proposed palm and hedge landscaping may in the future be seen more as an anachronistic aberration than as *"a unifying design feature."*